



# Penrith Town Council

Unit 1, Church House, 19-24 Friargate, Penrith, Cumbria, CA11 7XR

Tel: 01768 899 773 Email: [office@penrithtowncouncil.gov.uk](mailto:office@penrithtowncouncil.gov.uk)

**DATE: 26 September 2022**

**NOTICE IS HEREBY GIVEN** that an **ORDINARY MEETING** of **THE PLANNING COMMITTEE** will be held on Monday 3 October 2022, at 1.30pm and you are hereby **SUMMONED** to attend to transact the business as specified in the agenda and reports hereunder.

The meeting will be held at Unit 2, Church House, Friargate, Penrith.

To assist in the speedy and efficient dispatch of business', Members should read the agenda and reports in advance of the meeting. Members wishing to obtain factual information on items included on the agenda are asked to enquire of the relevant officer **PRIOR** to 9.00am on the Friday prior to the meeting.

Members are asked to indicate if they wish to speak on an item **PRIOR** to the meeting (by 10.00am on the day of the meeting at the latest) by emailing [office@penrithtowncouncil.co.uk](mailto:office@penrithtowncouncil.co.uk)

## COMMITTEE MEMBERSHIP

Cllr M Clark  
Cllr Kenyon  
Cllr Knaggs  
Cllr Lawson

South Ward  
North Ward  
West Ward  
Carleton Ward

Cllr. C Shepherd  
Cllr. M Shepherd  
Cllr Snell

East Ward  
North Ward  
West Ward

Mrs V. Tunnadine, Town Clerk

## **Public Participation**

Members of the public are welcome to attend. Details about how to attend the meeting remotely, and how to comment on an agenda item are available on the Town Council Website.

## **Filming**

**Please note that this meeting may be filmed for live or subsequent broadcast via the internet or social media.**

**Please be advised that the Town Council does not record or live stream meetings.**

Penrith Town Council fully supports the principle of openness and transparency and has no objection to filming and reporting at its Full Council, and Committee meetings that are open to the public. It also welcomes the use of social networking websites, such as Twitter and Facebook, to communicate with people about what is happening, as it happens. Filming will only commence at the beginning of a meeting when the Chair opens the meeting with apologies and will finish when the meeting is closed or when the public may be excluded from an exempt item. The Council, members of the public and the press may record/film/photograph or broadcast this meeting when the public and the press are not lawfully excluded.

## **General Power of Competence**

The Town Council resolved from 20 May 2019, until the next relevant Annual Meeting of the Council, that having met the conditions of eligibility as defined in the Localism Act 2011 and SI 965 The Parish Councils (General Power of Competence)(Prescribed Conditions) Order 2012, to adopt the General Power of Competence.

# **AGENDA FOR THE MEETING OF PLANNING COMMITTEE 3 OCTOBER 2022**

## **PART I**

### **1. Apologies For Absence**

Receive apologies from Members.

### **2. Minutes**

Authorise the Chair to sign, as a correct record, the minutes of the meeting of the Planning Committee held on Monday 5 September 2022 and agree they be signed as such, when permissible.

### **3. Declarations of Interests and Requests for Dispensations**

Receive declarations by Members of interests in respect of items on this agenda and apply for a dispensation to remain, speak and/or vote during consideration of that item.

#### **ADVICE NOTE:**

Members are reminded that, in accordance with the revised Code of Conduct, they are required to declare any disclosable pecuniary interests or other registrable interests which have not already been declared in the Council's Register of Interests. (It is a criminal offence not to declare a disclosable pecuniary interest either in the Register or at the meeting.) Members may, however, also decide, in the interests of clarity and transparency, to declare at this point in the meeting, any such disclosable pecuniary interests which they have already declared in the Register, as well as any other registrable or other interests. If a Member requires advice on any item involving a possible declaration of interest which could affect his/her ability to speak and/or vote, he/she is advised to contact the Monitoring Officer at least 24 hours in advance of the meeting

### **4. Public Participation**

Receive any questions or representations which have been received from members of the public. A period of up to 15 minutes for members of the public to ask questions or submit comments.

#### **ADVICE NOTE:**

Members of the public may make representations, answer questions and give evidence at a meeting which they are entitled to attend in respect of the business on the agenda. The public must make a request in writing to the Town Clerk **PRIOR** to the meeting, when possible. A member of the public can speak for up to three minutes. A question shall not require a response at the meeting nor start a debate on the question. The chair of the meeting may direct that a written or oral response be given

## **5. EXCLUDED ITEM: Public Bodies (Admissions to Meetings) Act 1960**

Determine whether any item/s should be considered without the presence of the press and public, pursuant to Section 1(2) of the Public Bodies (Admission to Meetings) Act, 1960, as publicity relating to that (any of those) matter/s may be prejudicial to the public interest by reason of the confidential nature of the business to be transacted or for the other special reasons noted in relation to that matter on the agenda.

## **6. Budgetary Control Statement: Five Months Ended 31 August 2022**

To note the Budgetary Control Statement for the five months ended 31 August 2022.

## **7. Proposed Base Station Installation Upgrade at Cornerstone 12144704, Land Adjacent to B288, Newton Road, Penrith, Cumbria, CA11 0DW, NGR: E: 350235 N: 530089**

To consider the attached pre planning consultation.

## **8. Planning Applications**

### **a) DELEGATED RESPONSES TO NOTE**

Planning application number:	22/0615
Site address:	2 WATSON TERRACE PENRITH CA11 7ND
Description:	Conservation area tree works: Remove leylandii
Response	No Objection

Planning application number:	22/0598
Site address:	WILLOWAY NICHOLSON LANE PENRITH CA11 7UH
Description:	Fell Laburnum in Conservation Area.
Response	No Objection but would like to see some replanting with native tree or bush to assist carbon retention and for biodiversity

Planning application number:	22/0510
Site address:	Santander 10 MARKET SQUARE PENRITH CA11 7BY
Description:	Advertisement Consent for the internal installation 1no floor standing TV screen within a metal shroud.
Response	No Objection

Planning application number:	22/0619
Site address:	THE GRANARY ROUNDTORN PENRITH CA11 8SJ
Description:	Proposed alterations and extension.
Response	No Objection

Planning application number:	22/0638
Site address:	8 KEMPLAY FOOT EAMONT BRIDGE PENRITH CA10 2BD
Description:	Removal of wall to create parking area.
Response	No Objection but would wish it to be conditioned that the back wall is constructed in stone using reclaimed stone from the front as stone walls are a feature of this area.

Planning application number:	22/0640
Site address:	2 BOWSCAR ROAD BOWSCAR PENRITH CA11 8RR
Description:	Proposed extension to provide ancillary annex accommodation.
Response	No Objection

Planning application number:	22/0610
Site address:	LAND AT RAISELANDS FARM PENRITH CA11 9NQ
Description:	Discharge of condition 7 (construction method statement), attached to approval 14/0405. Revision of 18/0625.
Response	<p>OBJECTION on the following grounds: ·</p> <p>Although better than the last document, the CMS is a generic document which includes incorrect information such as dates which should be updated or shown as complete. Should EDC approve the application Penrith Town Council would wish to see the following included:</p> <p>The schedule of drainage work needs to be updated as the dates included within it are out of date. This needs to be kept in line and up to date during the works to prevent local run off during the standard construction ie building houses.</p> <p>Noise and vibration monitors should be installed on at least two neighbouring residential properties, agreed with EDC prior to undertaking any piling and a British Standard should be quoted</p> <p>The complaints procedure is unsatisfactory as residents do not have a relationship with the developer. There have been issues with this site from the onset. As well as a complaints telephone number, there must be a commitment from non-site personnel from the developer such as the construction director to monitor on-going development and hold regular meetings, initially monthly with EDC and residents, facilitated by EDC to ensure that any problems are rectified quickly. If the time between these meetings can be extended or if the meetings become unnecessary this needs to be agreed by both EDC and the residents.</p> <p>EDC must consider suitable enforcement actions should the developer not be complying with agreed proposals.</p>

Planning application number:	22/0647
Site address:	FOR FARMERS HAWSWATER ROAD PENRITH CA11 9EH
Description:	Installation of new silo.
Response:	No Objection

Planning application number:	22/0651
Site address:	29 PARKLANDS WAY PENRITH CA11 8SD
Description:	Addition of two storey side extension, single storey rear extension and internal alterations.
Response:	No Objection

Planning application number:	22/0670
Site address:	21 RAISELANDS CROFT PENRITH CA11 9JH
Description:	Two storey rear extension.
Response:	No Objection

#### **b) PLANNING APPLICATIONS FOR CONSIDERATION**

Consider the following applications for which information can be found on the Eden District Council Website <http://eforms.eden.gov.uk/fastweb/search.asp> by inserting the appropriate planning reference number

Planning application number:	22/0610
Site address:	LAND AT RAISELANDS FARM PENRITH CA11 9NQ
Description:	Discharge of condition 7 (construction method statement), attached to approval 14/0405. Revision of 18/0625.

Re-consultation due to re-submission of additional information (attached)

Planning application number:	22/0602
Site address:	LAND OFF GREENBANK ROAD EDEN BUISNESS PARK PENRITH CA11 9FB
Description:	Proposed Class E building for a learning/training swimming pool.

Re-consultation due to re-submission of additional information (attached)

Planning application number:	22/0617
Site address:	137 GRAHAM STREET PENRITH CA11 9LG
Description:	Single storey rear extension.

Planning application number:	22/0648
Site address:	PLAYERS COURT CASTLEGATE PENRITH CA11 7HZ
Description:	Internal remodelling of existing 5no 1 bed flats and 6no bedsits to provide 9no self-contained 1 bedroom flats/maisonette and external works to include repairs to roof, walls and rainwater goods.

Planning application number:	22/0679
Site address:	DAVIDSONS GARAGE SCOTLAND ROAD PENRITH CA11 7NR
Description:	Part retrospective application for the construction of a waiting room and car valeting bay, to facilitate the existing operation of a hand car wash.

Planning application number:	22/0566
Site address:	44 BRENTFIELD WAY PENRITH CA11 8DL
Description:	Replacement of single storey side extension with two storey extension to include additional ground floor living accommodation and first floor annex accommodation for a disabled person.

Planning application number:	22/0692
Site address:	40 SALKELD ROAD PENRITH CA11 8RB
Description:	Addition of single storey rear extension, extension of first floor balcony and addition of front and side veranda.

Planning application number:	22/0699
Site address:	25 PENNY HILL PARK PENRITH CA11 9JW
Description:	Erection of first floor bedroom extension over existing garage.

## **9. Next Meeting**

Note the next meeting is scheduled for 7 November 2022 at 1.30pm, Unit 2, Church House, 19-24 Friargate, Penrith, Cumbria, CA11 7XR.

## **PART II PRIVATE SECTION**

There are no further items in this part of the agenda

## **FOR THE INFORMATION OF ALL MEMBERS OF THE PLANNING COMMITTEE AND FOR INFORMATION TO ALL REMAINING MEMBERS OF THE TOWN COUNCIL**

### **Access To Information**

Copies of the agenda are available for members of the public to inspect prior to the meeting. Agenda and Part I reports are available on the Town Council website or, in the case of planning applications, the link to applications on the Eden District Council Website can be found above

### **Background Papers**

Requests for the background papers to the Part I reports, excluding those papers that contain exempt information, can be made to the Town Clerk address overleaf between the hours of 9.00 am and 3.00 pm, Monday to Wednesday via [office@penrithtowncouncil.co.uk](mailto:office@penrithtowncouncil.co.uk)



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**DRAFT** Minutes of the meeting of

## **PLANNING COMMITTEE**

Held on **Monday 5 September 2022**, at 1.30pm. Meeting Room, Unit 2, Church House, 19-24 Friargate, Penrith, Cumbria, CA11 7XR.

### **PRESENT**

Cllr Kenyon	North Ward
Cllr Knaggs	West Ward
Cllr Lawson	Carleton Ward
Cllr M Shepherd	North Ward
Cllr Snell	West Ward

Deputy Town Clerk

The Town Council resolved from 20 May 2019, until the next relevant Annual Meeting of the Council, that having met the conditions of eligibility as defined in the Localism Act 2011 and SI 965 The Parish Councils (General Power of Competence)(Prescribed Conditions) Order 2012, to adopt the General Power of Competence.

# **MINUTES FOR THE MEETING OF PLANNING 5 SEPTEMBER 2022**

## **PART I**

### **PL22/146 Election of Chair**

In the absence of a Chair and Vice-Chair, Councillor Knaggs was elected as Chair for this meeting of Planning Committee only.

### **PL22/147 Order of Agenda Items**

As the agent for planning application 22/0589 was in attendance to answer queries, Members agreed to consider this application for consideration prior to item 6 on the agenda with the remainder of the planning applications being considered later on.

### **PL22/148 Apologies for Absence**

Apologies for absence were received from Councillors M Clark and C Shepherd.

### **PL22/149 Minutes**

#### **RESOLVED THAT:**

The Chair be authorised to sign, as a correct record, the minutes of;

- i. the meeting of the Committee held on Monday 4 July 2022; and
- ii the extra ordinary meeting of the Committee held on Monday 1 August 2022

and agreed they be signed as such.

### **PL22/150 Declaration of Interests and Requests for Dispensations**

Members were asked to disclose their interests in matters to be discussed whether disclosable pecuniary or other registrable interest, and to decide requests for dispensations.

- i. Councillor Lawson declared a registrable interest in planning application 22/0591 as he knew the applicant through work but he would take part in the discussion and decision thereon.

### **PL22/151 Public Participation**

Members noted that there were no questions or representations that had been received from members of the public prior to the meeting.

Members were advised that the applicant's agent for planning application 22/0589 was in attendance to answer any queries that members may have.

## **PL22/151 EXCLUDED ITEM: Public Bodies (Admission to Meetings) Act 1960**

Members considered whether any items on the agenda should be considered without the presence of the press and public, pursuant to Section 1(2) of the Public Bodies (Admission to Meetings) Act, 1960, and agreed that agenda item 11 should be considered in private as legal advice was being provided.

## **PL22/152 Planning Application for Consideration**

Members considered the following application which had been received and which required a committee decision. Further information could be found on the Eden District Council Website <https://plansearch.eden.gov.uk/fastweb/> by inserting the appropriate planning reference number.

Members asked questions of the planning agent.

Planning application number:	22/0589
Site address:	Omega Proteins Penrith Ltd PROCESSING PLANT PENRITH CA11 0BX
Description:	Construction of Bio Filter structure.
Response:	<b>RESOLVED THAT:</b>  A response of no objection be returned to Eden District Council.

## **PL22/153 Consultation into Short Term Holiday Lets**

Members considered the consultation being carried out by the Department for Culture, Media and Sport into short term holiday lets, including the growth of the Air BnB market and the problems caused such as pressure on local housing.

### **RESOLVED THAT:**

A letter be drafted in response to the consultation to include the points raised by members during the discussion.

## **PL22/154 Pre-Planning Consultations – Mobile Infrastructure**

Members considered the pre planning information for installation upgrades at Skirsgill Agricultural Hall, Redhills and Kettleside Farm

### **RESOLVED THAT:**

A response be returned to the company saying that at this time Penrith Town Council does not have a problem with the application but reserves the right to change their mind when the formal application is received if it is different.

## **PL22/155 Informal Consultation: Proposed Changes to Eden Speed Limit Order**

Members considered the informal consultation on proposed changes to speed limits at Carleton Brows and Castletown. The proposals for consideration are to extend the 30pmh limit on Carleton Brows to below the entrance to Hunter Hall and Frenchfield to 30mph. This was requested initially by the Town Council when the estate was being built. The existing 40mph on Greystoke Road is proposed to be extended beyond the entrance to Lingstubbs.

### **RESOLVED THAT:**

A response be returned to the Highways Authority supporting the proposals.

## **PL22/156 Planning Applications**

### **a) Delegated Responses**

Members noted the planning responses submitted by the Deputy Town Clerk under delegated authority on behalf of the committee between the scheduled meetings of the Committee:

Planning application number:	22/0461
Site address:	LONSDALE VILLA FELL LANE PENRITH CA11 8AA
Description:	Proposed mixed residential and holiday let use of house and annex.
Response	No Objection but would wish to see a condition relating to noise and disturbance to protect the amenity of neighbouring residents

Planning application number:	22/0504
Site address:	Beck House Watson Terrace Penrith Cumbria CA11 7ND
Description:	Conservation area tree works: T1 - Laurel shrub, reduce height to 1.5 metres. T2 - Sycamore, growing very close to the property and previously heavily reduced - Fell. T3 - Weeping Ash - Fell. T4 - Leylandii, leaning - Fell. T5 - Laburnum, leaning - Fell. T6 - Gingko - Fell.
Response:	No Objection however would wish to see some replanting of small trees / shrubs to help climate mitigation and to enhance greening and biodiversity

Planning application number:	22/0483
Site address:	UNIT 5 NEWTONGATE DEPOT NEWTON ROAD PENRITH CA11 0BF
Description:	Variation of condition 1 (hours of operation), to allow for 1no night time delivery between 11pm and 2am, attached to approval 01/0072.
Response	Objection. The previous hours of operation of the site of 7.30am to 7.00pm Monday to Saturday and not on Sundays and Bank Holidays were in the interests of local amenity as two properties may be affected. Nothing has changed and this condition is still appropriate.

Planning application number:	22/0487
Site address:	FORMER P F & K SALES ROOM SKIRSGILL PENRITH CA11 0DN
Description:	Change of use from Sui Generis to Class E.
Response:	No Objection

Planning application number:	22/0442
Site address:	59 CROFT AVENUE PENRITH CA11 7RL
Description:	Retrospective application for the erection of dwelling and addition of rear extension to existing dwelling.
Response:	<p>Penrith Town Council finds it difficult to comment on this application and is concerned and disappointed that a householder has seemingly built a complete new house without gaining planning permission prior to the work being carried out,</p> <p>Penrith Town Council wishes to Object on grounds of adverse harm to the residential amenity of neighbouring property by virtue of an overbearing impact which would be domineering contrary to policies DEV1 and DEV5 of the ELP. There are other houses with similar frontages but NOT a new house attached.</p>

Planning application number:	22/0502
Site address:	FORMER KFC FIELDROSE HOUSE BRIDGE LANE PENRITH CA11 8JB
Description:	Alterations to building and elevations to include re-cladding.
Response:	No Objection

Planning application number:	22/0519
Site address:	FORMER KFC FIELDROSE HOUSE BRIDGE LANE PENRITH CA11 8JB
Description:	Advertisement Consent for 1no internally illuminated welcome totem sign, 1no internally illuminated height limiter sign, 4no internally illuminated information signs and 7no illuminated fascia signs.
Response	No Objection but a request that a condition be included relating to low intensity lighting which is turned off out of hours to reduce light pollution

Planning application number:	22/0496
Site address:	ROWAN HOUSE ST ANDREWS PLACE PENRITH CA11 7XZ
Description:	Listed Building Consent to enable change of use of offices to 6no residential units.
Response:	No Objections to the internal changes however concern is expressed that parking will be a problem as residents are not entitled to parking permits and season tickets for EDC off street parking are limited. Cumbria County Council parking services should be requested for their views.

Planning application number:	22/0527
Site address:	43 WORDSWORTH STREET PENRITH CA11 7QY
Description:	Tree works in a conservation area - Fell Silver Birch.
Response	No Objection

Planning application number:	22/0532
Site address:	AGRICOLA HOUSE COWPER ROAD PENRITH CA11 9BN
Description:	Variation of condition 2 (plans compliance) to change the type and colour of the cladding, attached to approval 21/1045.
Response	No Objection

Planning application number:	22/0544
Site address:	8 ANGEL SQUARE PENRITH CA11 7BT
Description:	Sub-division of retail unit into two, creation of roof terrace area and shopfront alterations.
Response	No objection however conditions should be attached to the use of the roof terrace to prevent nuisance or disturbance to neighbouring properties

Planning application number:	22/0524
Site address:	102-103 SCOTLAND ROAD PENRITH CA11 7NP
Description:	Change of use of office to 2no residential units, addition of extension and conversion of existing dwelling to 2no apartments.
Response	No Objection but would wish CCC Highways to be consulted on parking arrangements in the light of the Penrith Parking and Movement Study

Planning application number:	22/0520
Site address:	LAND SOUTHWEST OF MILE LANE REDHILLS PENRITH CA11 0DT
Description:	Reserved Matters application for appearance, landscaping, layout and scale, attached to approval 19/0636. Re-submission of 21/1092.
Response:	<p>No Objection but would like to ask for conditions as follows:</p> <ol style="list-style-type: none"> <li>1. Both EDC and PTC have declared a climate emergency so renewable energy technologies should be incorporated into the design, including pv panels and BRE A construction methods should be used to include high levels of thermal performance.</li> <li>2. New buildings should be future proofed at the build stage as soon as possible, as retrofitting to increase standards later on would be more expensive. It is hoped that the building has been sited to optimise passive solar gain.</li> <li>3. The building should be constructed of sustainable thermally efficient building materials and include good loft and wall insulation to reduce energy consumption as far as possible. Water recycling methods should be included within the development</li> <li>4. The site should include good inter-connectivity with the existing business parks and town and paths/tracks to promote sustainable transport and encourage cycling and walking as a way to get to work.</li> <li>5. The development should include electric vehicle charging points and cycle storage.</li> <li>6. To help climate mitigation, native trees, including fruit/nut trees) should be used to enhance greening and biodiversity within the plan area.</li> <li>7. Design or landscape features should be incorporated to provide habitat for insects, nesting birds and other wildlife.</li> <li>8. Hardstanding should be porous where possible to reduce run off.</li> </ol>

Planning application number:	22/0490
Site address:	42 BURROWGATE PENRITH CA11 7TA
Description:	Change of use from retail shop (class E) to tanning salon (sui generis).
Response	No Objection

Planning application number:	22/0503
Site address:	2 PORTLAND PLACE PENRITH CA11 7QN
Description:	Change of use from guest house (C1) to self catering holiday letting accommodation (C3)
Response	No Objection, no of rooms remains the same but rather than letting individually the proposal is to let the house as a whole unit which may actually reduce the number of vehicles associated with the property. Would wish CCC Highways to be consulted on parking arrangements in the light of the Penrith Parking and Movement Study

Planning application number:	22/0574
Site address:	53 Arthur Street Penrith CA11 7TU
Description:	Conservation area tree works: Removal to ground level 1x multi-stemmed Cypress.
Response	No Objection but would wish to see some replacement planting to help climate mitigation and to enhance greening and biodiversity

Planning application number:	22/0566
Site address:	44 BRENTFIELD WAY PENRITH CA11 8DL
Description:	Replacement of single storey side extension with two storey extension to include additional ground floor living accommodation and first floor annex accommodation for a disabled person.
Response	No Objection

Planning application number:	22/0560
Site address:	APPLEGARTH NICHOLSON LANE PENRITH CA11 7UL
Description:	Conservation area tree works: 1) Cypress in decline, fell to stump. 2)Gum. Target prune 1x limb to improve view of Fir - remove small diameter low lateral. 3) Laurel shrub, sensitive target pruning to reshape. 4) Fruit trees x2, Reduction (targeted) to reshape and crown clean Crab Apple and Plum. 5) Elm, reduce by height and spread by up to 1/3rd. Reduce height by 1-2 meters, spread by 2-3 meters leaving a finished height of 5-7 meters and spread of 6-7 meters. 6) Holly, reduce to create crown separation and frame rear Beech (neighbouring). 7) Pear, Reduce lateral growth of 2/3 lowest branches to reduce loading. Reduce each by approx 1 meter max. 8) Silver Birch, Crown reduce by 3-4 meters in height and 2-3 meters spread. Leaving a finished height of 14-16 meters and spread of 7-9 meters. 9) Beech, Fell to stump. 10) Hornbeam shrub, reduce by up to 1/3rd. 11) Beech and Laburnum, Target prune for stability and separation whilst maintaining weep as best as possible.
Response	No Objection

Planning application number:	22/0568
Site address:	INGLESIDE BEACON STREET PENRITH CA11 7UA
Description:	Replacement of rear attached garage/workshop and alterations to roof to include addition of rear dormer and enlargement of front skylight.
Response:	No Objection

Planning application number:	22/0553
Site address:	LAND AT WHITE OX FARM GREENGILL PENRITH CA11 8SE
Description:	Variation of condition 13 (hours of construction) To extend the construction hours from 08:00 - 18:00 Monday - Friday to 07:30 - 18:00 Monday - Friday, attached to appeal approval APP/H0928/W/20/3260394, LPA ref 19/0908.
Response:	No Objection, this brings it in line with the Storey Homes site.

The following application was considered by Council on 18 July as a response was required prior to this meeting.

Planning application number:	22/0497
Site address:	Omega Proteins Penrith Ltd PROCESSING PLANT PENRITH CA11 0BX
Description:	Installation of 25m chimney stack. Part retrospective.
Response:	<p>No Objection on material planning grounds however it is essential that an odour impact assessment is carried out and that any conditions related to odour are adhered to.</p> <p>A letter be sent to both Eden District Council and the applicants conveying disappointment that yet another retrospective or part retrospective application has come forward for consideration, with EDC being asked to expedite any outstanding planning applications that may be operation critical.</p> <p>A letter be sent to the Environment Agency [Appendix C] expressing concern about the level of particulates and asking for regular feedback on the situation.</p>

## b) Planning Applications Considered

Members considered the following applications which had been received and which required a committee decision. Further information could be found on the Eden District Council Website <https://plansearch.eden.gov.uk/fastweb/> by inserting the appropriate planning reference number

**The applicant for the following application joined the meeting to answer any queries Members had.**

Planning application number:	22/0591
Site address:	SALKELD ROAD PENRITH CA11 8SQ
Description:	Construction of dwelling with amended access, landscaping, energy infrastructure and drainage system.
Response:	<p><b>RESOLVED THAT</b> a response OBJECTING to the application be returned on the following grounds:</p> <ol style="list-style-type: none"><li>1. The proposal sits as a large house in the open countryside on a greenfield site well outside the boundary of the town. The site is not allocated in the Local Plan for housing nor is it part of a proposed planned extension to the town. The house does not fulfil any of the National Planning Policy Framework (NPPF) requirements for rural housing so the application goes against both local and national policy. There is no justification for a house in this location let alone of this size.</li><li>2. Although the Highways Authority have suggested that if approved, visibility splays would be required, there are still concerns that the proposed entrance is just before / after a blind crest cut into the land with a narrowed bit of road and very high edges. Salkeld Road is untreated in winter and very busy during the summer months as a route from the fellside villages but also used by large agricultural vehicles.</li><li>3. Although the new proposal is of a style more in keeping with the agricultural area, the NPPF says that land outside settlements will be prized and nurtured. Although not grade 1 agricultural land, it is stock rearing land and we should be looking to preserve areas to improve Britain's food security which will become increasingly important.</li><li>4. The Town Council believes that the adverse impacts of a large new build in the open countryside demonstrably outweigh the benefits.</li></ol>

Planning application number:	22/0616
Site address:	LAND AT RAISELANDS FARM SCOTLAND ROAD PENRITH CA11 9NQ
Description:	Erection of site entrance wall, pursuant of previous planning approval 14/0405.
Response:	<b>RESOLVED THAT:</b>  A response of No Objection be returned to Eden District Council.

Planning application number:	22/0584
Site address:	7 BRENT GARDENS PENRITH CUMBRIA CA11 8DH
Description:	Single storey rear extension.
Response:	<b>RESOLVED THAT:</b>  A response of No Objection be returned to Eden District Council.

Planning application number:	22/0602
Site address:	LAND OFF GREENBANK ROAD EDEN BUISNESS PARK PENRITH CA11 9FB
Description:	Proposed Class E building for a learning/training swimming pool.
Response:	<b>RESOLVED THAT:</b>  A response of No Objection be returned to Eden District Council with a request that the following conditions be incorporated: 1. Renewable energy technologies, including PV panels, should be incorporated into the design and a BRE A construction method to include high levels of thermal performance should be used. 2. It is important that new buildings are future proofed at the build stage as soon as possible and to avoid expensive retrofitting later on. Wherever possible buildings should be sited to optimise passive solar gain.

	<p>3. Buildings should be constructed of sustainable thermally efficient buildings materials and include good insulation to reduce energy consumption as far as possible with water recycling methods included within the development.</p> <p>4. The site should include good inter-connectivity to existing paths and tracks and sustainable transport methods, including electric vehicle/bike charging points should be heavily promoted and cycling and walking as a way to get to work or use the site encouraged. It would have been good to see a travel to work plan, such as the one included with application 20/0629 included with the application.</p> <p>5. To help climate mitigation and in the interests of neighbours, native trees should be used for screening and to enhance greening and biodiversity within the plan area.</p> <p>6. As the site is close to a wildlife area, design or landscape features should be incorporated to provide habitat for insects, nesting birds and other wildlife and the construction plan should be mindful of any potential wildlife on site</p>
--	--

Planning application number:	22/0604
Site address:	LAND OFF GREENBANK ROAD EDEN BUSINESS PARK PENRITH CUMBRIA CA11 9FB
Description:	Discharge of condition 18 (ecology), attached to approval 21/0356.
Response:	<p><b>RESOLVED THAT:</b></p> <p>A response of No Objection be returned to Eden District Council.</p>

Planning application number:	22/0603
Site address:	Tyson H Burridge Ltd LORRY PARK UNIT 16 COWPER ROAD PENRITH CA11 9BN
Description:	Discharge of conditions 3 (materials) and 4 (surface and foul drainage), attached to approval 22/0226.
Response:	<b>RESOLVED THAT:</b>  A response of No Objection provided the application meets the technical specifications be returned to Eden District Council.

**Councillor Knaggs declared a registrable interest in the following application as he knew the applicant and declared he would take no part in the discussion and decision thereon.**

Planning application number:	22/0611
Site address:	WHITE GABLES WORDSWORTH STREET PENRITH CA11 7QY
Description:	Conservation area tree works:1) fell Yew tree, 2) undertake crown clean of Cherry including deadwood removal.
Response:	<b>RESOLVED THAT:</b>  A response of No Objection be returned to Eden District Council with a request that the applicant be asked to include some replacement planting of a native tree or shrub to help mitigate climate issues and to enhance greening and biodiversity.

Planning application number:	22/0623
Site address:	CARLETON HILL CARLETON PENRITH CA11 8TZ
Description:	Erection of a timber framed agricultural building for fodder storage and livestock housing.
Response:	<b>RESOLVED THAT:</b>  A response of No Objection be returned to Eden District Council.

Planning application number:	22/0605
Site address:	11 CLIFFORD COURT PENRITH CA11 8PX
Description:	Erection of wall with panel fence on top and gate to a height of 1.82m around the front perimeter.
Response:	<b>RESOLVED THAT:</b> A response of No Objection be returned to Eden District Council.

## **PTC22/157 Next Meeting**

Members noted that the next meeting was scheduled for Monday 3 October 2022 at 1.30pm, Unit 2, Church House, 19-24 Friargate, Penrith, Cumbria, CA11 7XR.

## **PART II PRIVATE SECTION**

There is one further item in this part of the Agenda

### **PL22/158 Neighbourhood Development Plan**

Members received a verbal update on the Neighbourhood Development Plan in respect of Policy 8 (Identifying and Protecting Local Green Space) and Policy 9 (Protecting and Enhancing Sport, Leisure and Recreation Facilities). Following the recommendation of the Independent Inspector who suggested that these policies did not meet basic conditions, Members were reminded that the National Planning Policy Framework (NPPF) states that Local Green Space designation should only be used where it is:

- i. In reasonably close proximity to the community it serves,
- ii. Is demonstrably special to a local community and holds a particular local significance for example because of its beauty, historic significance, **recreational value (including as a playing field)**, tranquillity or richness of its wildlife; and
- iii. Local in character and not an extensive tract of land.

Members were advised that the Legal Officer was in communication with Eden District Council and that further information was awaited from the Town Council's Planning Consultant.

**CHAIR:**

**DATE:**

**FOR THE INFORMATION OF ALL MEMBERS OF  
THE PLANNING COMMITTEE  
AND FOR INFORMATION FOR ALL REMAINING  
MEMBERS OF THE TOWN COUNCIL**

**Access to Information**

Copies of the agenda are available for members of the public to inspect prior to the meeting. Agenda and Part I reports are available on the Town Council website

**Background Papers**

Requests for the background papers to the Part I reports, excluding those papers that contain exempt information, can be made to the Town Clerk address overleaf between the hours of 9.00 am and 3.00 pm, Monday to Wednesday via [office@penrithtowncouncil.co.uk](mailto:office@penrithtowncouncil.co.uk)



# Penrith Town Council

## PLANNING COMMITTEE

### BUDGETARY CONTROL STATEMENT: FIVE MONTHS ENDED 31 AUGUST 2022

Approved Budget 2022-23	Latest Budget 2022-23	Heading	Actual to Date	Commitments	Total to Date	Budget Remaining
£	£		£	£	£	£
		<b>PLANNING COMMITTEE:</b>				
		<b>Planning Services:</b>				
} 10,000	} 10,000	Officer Support	986	(653)	0	} 9,667
		Planning Consultancy			333	
} 10,000	} 10,000	Consultation	986	(653)	0	} 9,667
					333	
		<b>Climate Change:</b>				
5,000	5,000	Community Consultation	0		0	5,000
2,000	2,000	Internal Business Plan	0		0	2,000
1,000	1,000	Carbon Footprinting: High level baseline	0		0	1,000
500	500	Carbon Footprinting: Calculator licence	0		0	500
3,000	3,000	BIG STEP	0		0	3,000
800	800	Staff Development/Exceptional Expenses	0		0	800
1,000	1,000	Carbon Literacy Training	2,910		2,910	(1,910)
13,300	13,300		2,910	0	2,910	10,390
<b>23,300</b>	<b>23,300</b>	<b>Planning Committee Total</b>	<b>3,896</b>	<b>(653)</b>	<b>3,243</b>	<b>20,057</b>

#### Notes:

No changes have been made to the Committee's budget approved on 24 January 2022.

The £653 income shown against Planning Services is residual grant due from Eden DC, towards the purchase of SIDs.

The overspend of £1,910 on Carbon Literacy Training can be offset against underspendings across the Committee's services.

Our Ref: Cornerstone 12144704

22nd September 2022

FAO The Town Clerk  
Penrith Town Council  
Unit 1  
Church House  
19-24 Friargate  
Penrith  
CA11 7XR

WHP Telecoms Ltd  
1a Station Court  
Station Road  
Guiseley  
Leeds  
LS20 8EY

Dear Sir/Madam,

**PROPOSED BASE STATION INSTALLATION UPGRADE AT CORNERSTONE 12144704, LAND ADJACENT TO B288, NEWTON ROAD, PENRITH, CUMBRIA, CA11 0DW, NGR: E: 350235 N: 530089**

Cornerstone is the UK's leading mobile infrastructure services company. We acquire, manage, and own over 20,000 sites and are committed to enabling best in class mobile connectivity for over half of all the country's mobile customers. We oversee works on behalf of telecommunications providers and wherever possible aim to:

- promote shared infrastructure
- maximise opportunities to consolidate the number of base stations
- significantly reduce the environmental impact of network development

Cornerstone are in the process of progressing suitable sites in the Penrith area to improve service provision and have identified this site as suitable for an equipment upgrade for Cornerstone.

The purpose of this letter is to consult with you and seek your views on our proposal before proceeding with the works. We understand that you are not always able to provide site specific comments, however, Cornerstone are committed to consultation with communities on our mobile telecommunications proposals and as such would encourage you to respond.


As part of Cornerstones network improvement program, there is a specific requirement for a radio base station upgrade at this location to provide improved technical provisions, greater capacity and coverage in the area.

Mobiles can only work with a network of base stations in place where people want to use their mobile phones or other wireless devices. Without base stations, the mobile phones, and other devices we rely on simply won't work.

**In the first instance, all correspondence should be directed to the agent.**

Cornerstone Planning Consultation Letter to Councillors - Standard V.3 – 15/04/2021

Registered Address:  
Cornerstone Telecommunications, Infrastructure Limited,  
Hive 2, 1530 Arlington Business Park, Theale, Berkshire, RG7 4SA.  
Registered in England & Wales No. 08087551.  
VAT No. GB142 8555 06

 Cornerstone, Hive 2,  
1530 Arlington Business Park,  
Theale, Berkshire, RG7 4SA

Please find below the details of the proposed site: -

Our technical network requirement is as follows:

- Cornerstone 12144704 (Cornerstone) at Land Adjacent to B288.
- There is a specific requirement for a radio base station upgrade at this location to provide improved technical provisions, greater capacity and coverage in the area.

A number of options have been assessed in respect of the site search process and we consider the best solution is as follows:

- Land Adjacent to B288, Newton Road, Penrith, Cumbria, CA11 0DW, NGR: E: 350235 N: 530089.
- Proposed upgrade to the existing 20m High Phase 5 Monopole. Removal of existing 6No. Antennas. Proposed 6No. Antennas, 1No 600Ø Dish and 21No. RRUS to be installed. Existing Equipment Cabin to be upgraded internally and associated ancillary works. For full details please refer to the enclosed drawings.

The Local Planning Authority mast register and our records of other potential sites have already been reviewed, the policies in the Development Plan have been taken into account and the planning history of the site has been examined.

All Cornerstone installations are designed to be fully compliant with the public exposure guidelines established by the International Commission on Non-Ionizing Radiation Protection (ICNIRP). These guidelines have the support of UK Government, the European Union and they also have the formal backing of the World Health Organisation. A certificate of ICNIRP compliance will be included within the planning submission.

We look forward to receiving any comments you may have on the proposal within 14 days of the date of this letter.

Should you have any queries regarding this matter, please do not hesitate to contact me (quoting cell number Cornerstone 12144704).

Yours faithfully,


Shell Kelly  
[s.kelly@whptelecoms.com](mailto:s.kelly@whptelecoms.com)

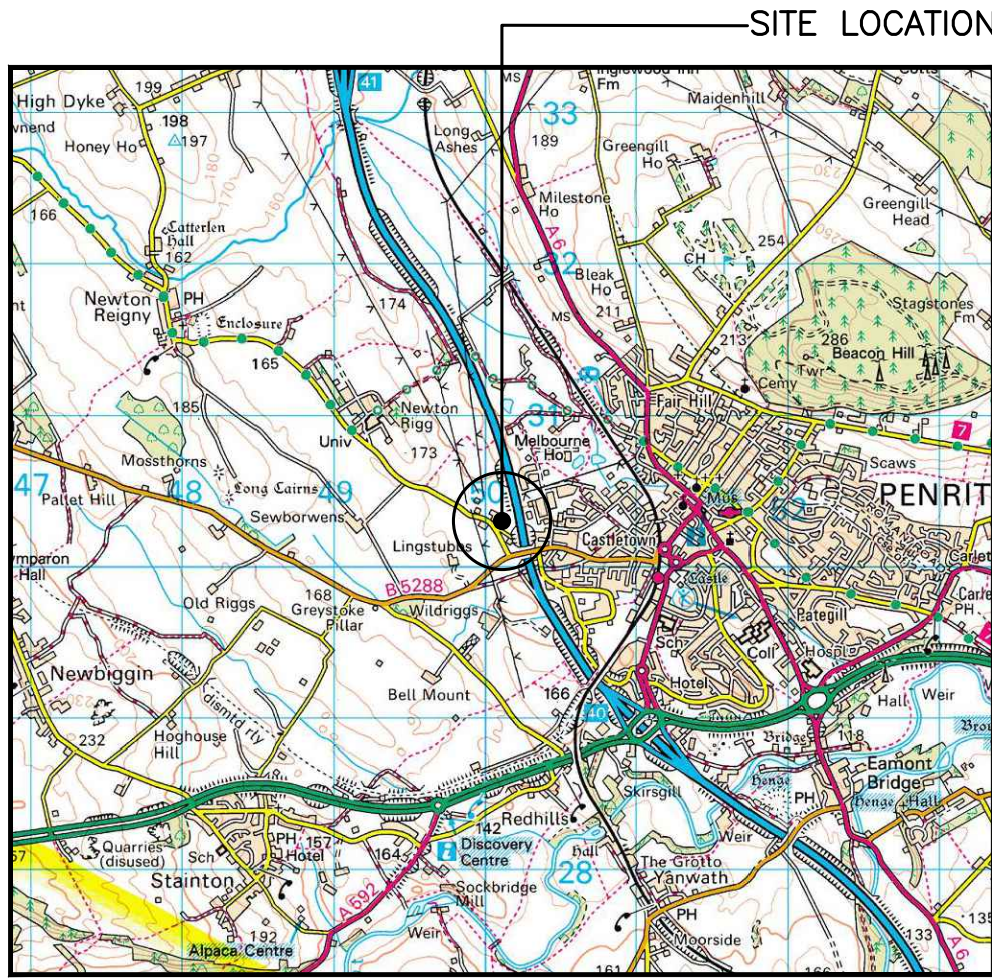
(for and on behalf of Cornerstone)

**In the first instance, all correspondence should be directed to the agent.**

Cornerstone Planning Consultation Letter to Councillors - Standard V.3 – 15/04/2021

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Cornerstone Telecommunications, Infrastructure Limited,  
Hive 2, 1530 Arlington Business Park, Theale, Berkshire, RG7 4SA.  
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Theale, Berkshire, RG7 4SA



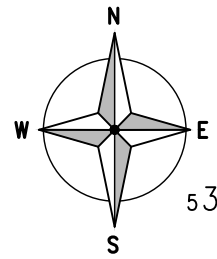
0 1km 2km  
Scale

SITE LOCATION  
(Scale 1:50000)



SITE PHOTOGRAPH

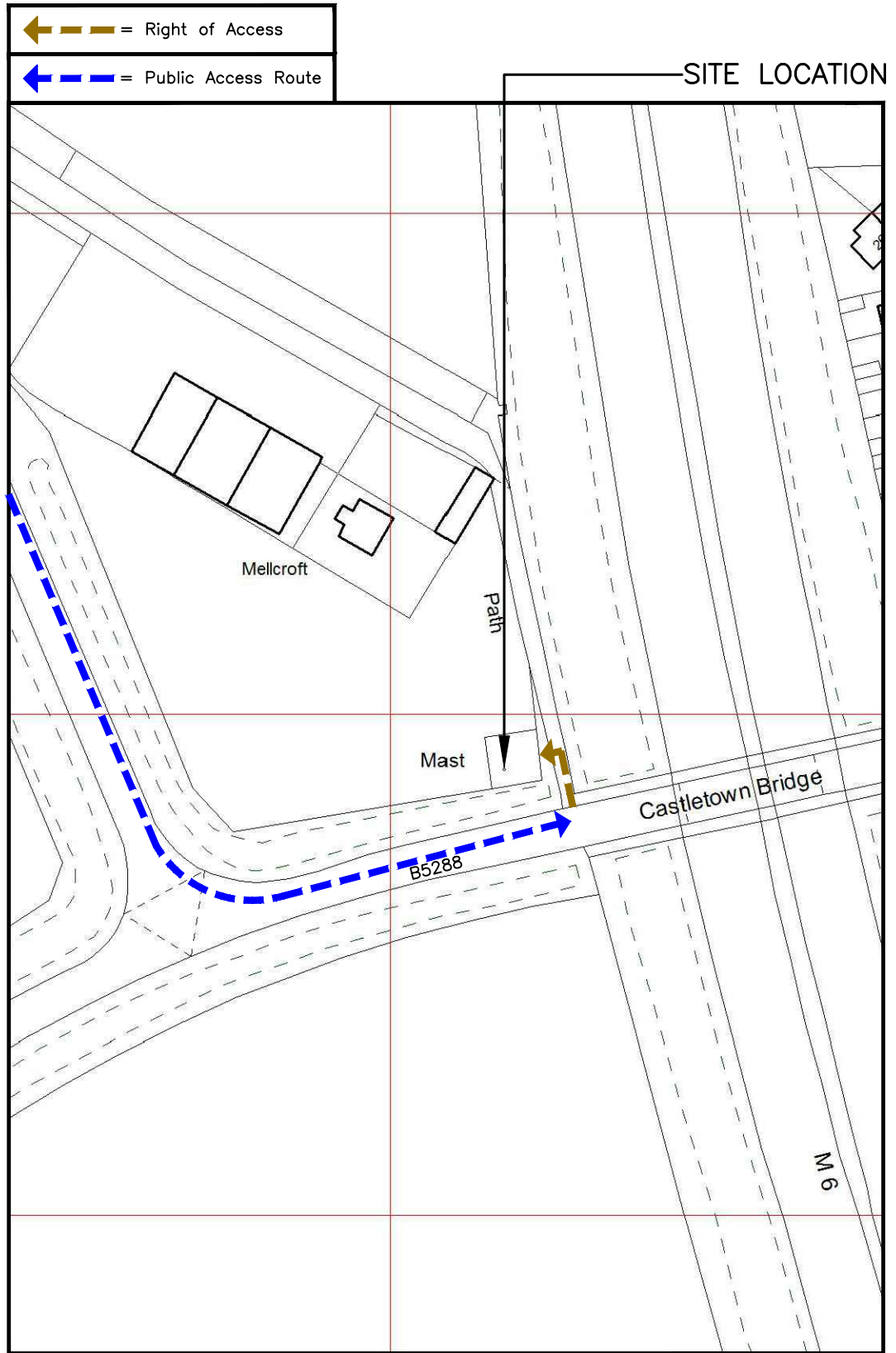
The drawings comply with VF Standard ICNIRP guidelines.  
Designed in accordance with Cornerstone documents: SDN0009.



530200

530100

530000



DETAILED SITE LOCATION  
(Scale 1:1250)

ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE

N.G.R | E: 350235 N: 530089

DIRECTIONS TO SITE:  
TRAVELING A1(M) (SIGNS FOR WETHERBY/MANCHESTER/LEEDS/M62), TAKE THE A66 (W)/ A6108 EXIT TOWARDS BROUGH/PENRITH/RICHMOND/SCOTCH CORNER. AT THE ROUNDABOUT, TAKE 2ND EXIT ONTO A66. AT THE ROUNDABOUT, TAKE THE 2ND EXIT AND STAY ON A66. AT THE ROUNDABOUT, TAKE THE 4TH EXIT ONTO ULLSWATER ROAD/A592. AT THE ROUNDABOUT, TAKE THE 1ST EXIT ONTO HAWEWATER ROAD. TURN LEFT ONTO NEWTON ROAD AND LEFT ONTO B5288 ROAD. SITE IS ON THE LEFT BEFORE CASTLETOWN BRIDGE.

NOTES:

A	Issued for Approval	DW	RB	01.08.22
REV	MODIFICATION	BY	CH	DATE

Faraday Court  
401 Faraday Street  
Birchwood Park  
Warrington WA3 6GA  
Tel: 01925 424100 Fax: 01925 424101  
e-mail: info@whptelecoms.com

cornerstone

Cell Name		Opt.
LAND ADJACENT TO B288		—
Cell ID No		
CORNERSTONE	VMO2	VF
12144704	046201	01335_27

Site Address / Contact Details

NEWTON ROAD  
PENRITH  
CUMBRIA  
CA11 0DW

Drawing Title:  
SITE LOCATION MAPS

Purpose of issue:  
PLANNING

Drawing Number:  
100

Surveyed By:  
MS

Original Sheet Size:  
A3

Drawn:  
DW

Date:  
01.08.22

Checked:  
RB

Date:  
01.08.22

Pack Issue:  
A



ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE


N.G.R

E: 350235


N: 530089

NOTES:

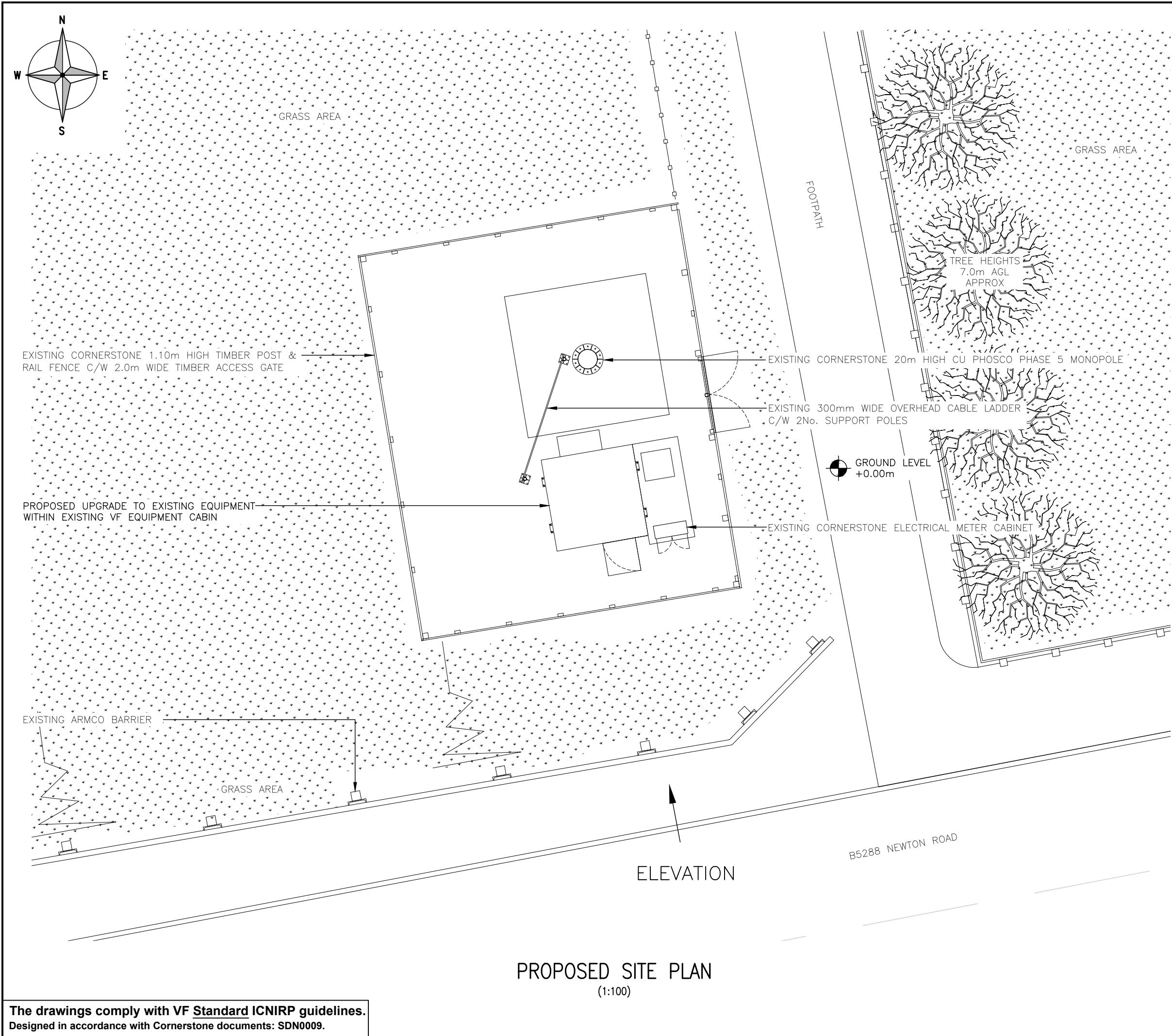
A	Issued for Approval	DW	RB	01.08.22
REV	MODIFICATION	BY	CH	DATE



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cornerstone

Cell Name		Opt.
LAND ADJACENT TO B288		—
Cell ID No		
CORNERSTONE	VMO2	VF
12144704	046201	01335_27
Site Address / Contact Details		
NEWTON ROAD PENRITH CUMBRIA CA11 0DW		
Drawing Title: EXISTING SITE PLAN		
Purpose of issue: PLANNING		Dwg Rev: A
Drawing Number: 200		Pack Issue: A
Surveyed By: MS	Original Sheet Size: A3	Pack Issue: A
Drawn: DW	Date: 01.08.22	Checked: RB Date: 01.08.22



PROPOSED SITE PLAN  
(1:100)

The drawings comply with VF Standard ICNIRP guidelines.  
Designed in accordance with Cornerstone documents: SDN0009.

ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE


N.G.R


E: 350235

N: 530089

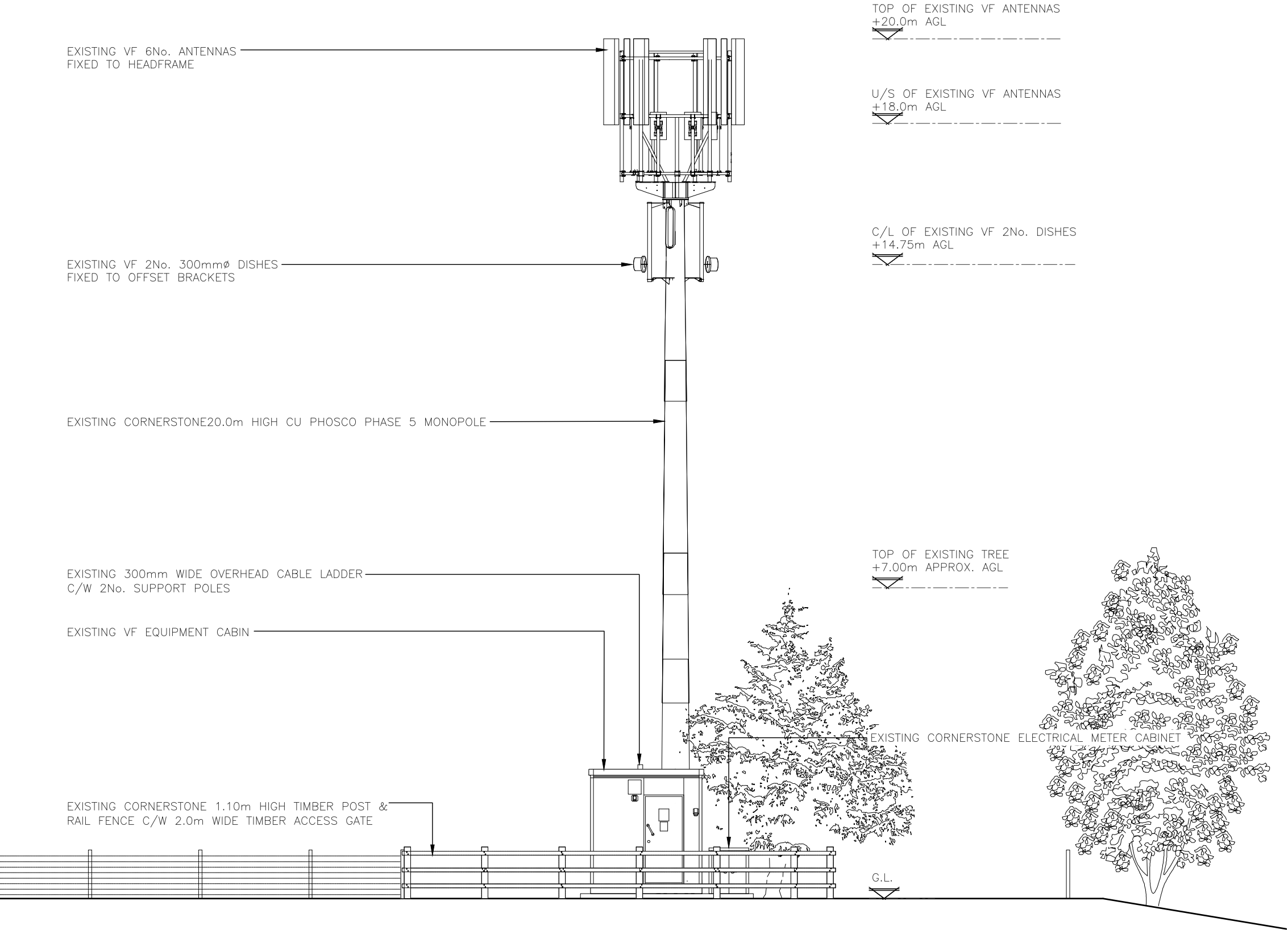
NOTES:

A	Issued for Approval	DW	RB	01.08.22
REV	MODIFICATION	BY	CH	DATE

Faraday Court  
401 Faraday Street  
Birchwood Park  
Warrington WA3 6GA  
Tel: 01925 424100 Fax: 01925 424101  
e-mail: info@whptelecoms.com



Cell Name		Opt.
LAND ADJACENT TO B288		—
Cell ID No		
CORNERSTONE	VMO2	VF
12144704	046201	01335_27
Site Address / Contact Details		
NEWTON ROAD PENRITH CUMBRIA CA11 0DW		
Drawing Title: PROPOSED SITE PLAN		
Purpose of issue: PLANNING		Dwg Rev:
Drawing Number: 201		A
Surveyed By: MS	Original Sheet Size: A3	Pack Issue:
Drawn: DW	Date: 01.08.22	Checked: RB
	Date: 01.08.22	A



EXISTING SITE ELEVATION  
(1:100)

ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE

N.G.R | E: 350235 N: 530089

NOTES:

A	Issued for Approval	DW	RB	01.08.22
REV	MODIFICATION	BY	CH	DATE



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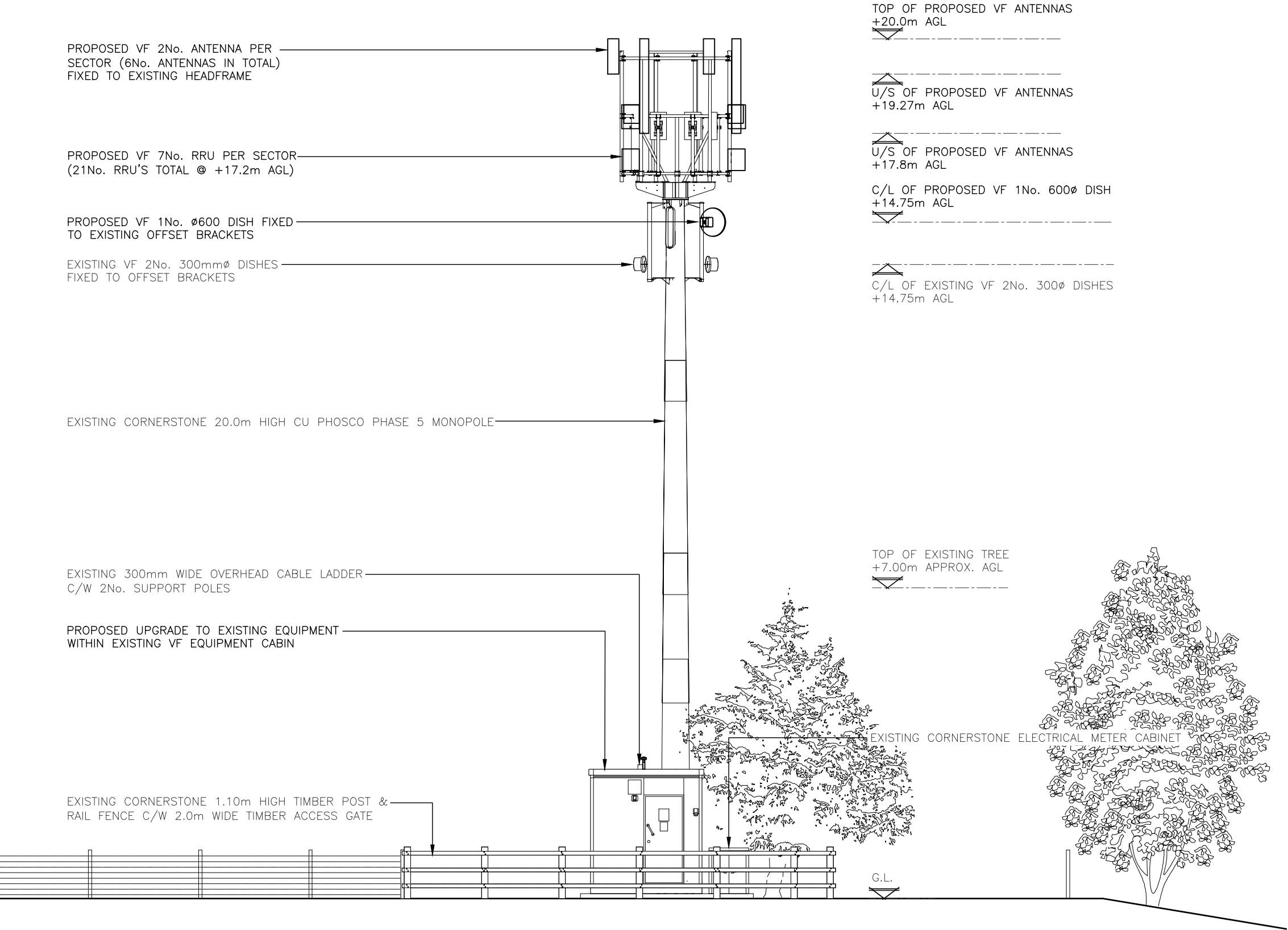


Cell Name	Opt.
LAND ADJACENT TO B288	—

Cell ID No		
CORNERSTONE	VMO2	VF
12144704	046201	01335_27

Site Address / Contact Details
NEWTON ROAD PENRITH CUMBRIA CA11 0DW

Drawing Title: EXISTING SITE ELEVATION		
Purpose of issue: PLANNING		Dwg Rev: A
Drawing Number: 300		Pack Issue: A
Surveyed By: MS	Original Sheet Size: A3	
Drawn: DW	Date: 01.08.22	Checked: RB Date: 01.08.22



PROPOSED SITE ELEVATION  
(1:100)

The drawings comply with VF Standard ICNIRP guidelines.  
Designed in accordance with Cornerstone documents: SDN0009.

ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE

N.G.R | E: 350235 | N: 530089

NOTES:

A	Issued for Approval	DW	RB	01.08.22
REV	MODIFICATION	BY	CH	DATE



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e-mail: info@whptelecoms.com



Cell Name	Opt.
LAND ADJACENT TO B288	—

Cell ID No		
CORNERSTONE	VMO2	VF
12144704	046201	01335_27

Site Address / Contact Details
NEWTON ROAD PENRITH CUMBRIA CA11 0DW

Drawing Title: PROPOSED SITE ELEVATION		
Purpose of issue: PLANNING		Dwg Rev: A
Drawing Number: 301		Pack Issue: A
Surveyed By: MS	Original Sheet Size: A3	
Drawn: DW	Date: 01.08.22	Checked: RB Date: 01.08.22

# **Raiselands, Penrith Construction Method Statement**

**Rev. E October 2021**

## **1.0 Scope**

This Construction Method Statement is submitted to update those details previously approved. It relates to Persimmon Homes management of the issues highlighted in Condition 7 of the planning consent 14/0405 (Land at Raiselands Farm, Scotland Road), during the construction of dwelling houses.

## **2.0 Health and Safety Measures**

A full construction phase health and safety plan will be available on site for the duration of the works on site and will be updated as required during the projects lifetime.

Full emergency procedures and equipment including spill kits are available on site in order to deal with any environmental incidents which may occur.

## **3.0 Access**

The site will be access by construction traffic directly from Scotland Road. At the entrance to the site a sign as below will be erected. Directional signs will ensure that site traffic routes are clear as the site progresses. At any points where access may be gained to construction site(s), additional warning signs will be displayed.



#### 4.0 Phasing of Work

This will follow a logical sequence around how the site as planned as per the Traffic Management Plan and the Roads & Sewers Phase 1 Management Plan appended to the back of this document.

For the purpose of this document the construction is split in to construction stages:

- S278 / Site Entrance Works

S278 works now complete and confirmed by CCC.

- Facilitating Earth Works

There is considerable cut and uplift required across the site. This is shown on the Highways & Drainage layout (30038.ID). This is further illustrated in the cross sections provided (30038.202 1A/2A).

- Earthworks materials may consist of soil, rock, or inert construction and demolition material which are capable of being compacted to form stable areas of fill.
- Where possible fill material shall be contained from excavation within the site. If there is insufficient fill material of the required types within

the site, imported fill material shall be provided by the Developer / Contractor from alternative source.

- Fill material obtained from excavations within the site shall be deposited in its final location as soon as practicable after excavation.
- Fill material in areas of fill / uplift shall be compacted in a stable condition as soon as possible after deposition and in a manner appropriate to the location and material to be compacted, and the machinery compacting.
- Top Soil, Grass and other organic matter will be removed.
- This will be compacted in no larger than 300mm layers and as uniform as practicable. A good bond between layers will be ensured through scarification and or surface watering if necessary.

During this period there will be increased traffic movements entering and egressing the site. The purpose of this is solely to bring the levels at the front end of the site up to those approved to enable the first phase of roads and sewers to be commenced.

Depending on the location that earth is being imported from, on to site this could result in up to 65 vehicles (i.e. in and out) per day (just over 1 vehicle in and then out just less than every 10 minutes). For clarity, at the maximum movements, there are 5 wagons running. They are delivering 13 loads a day, making a total of 65 loads so 130 entry/exits per day.

- Remaining Phase 1 enabling Works (land re-grade, road box crush to allow sewers to be installed) – Completed
- Road box from site entrance to plot 39 "Y" junction to allow safe access – Completed
- Material import required to build up areas of site – Initial site material imported complete, however more material will be required as onsite Road box works continue.
- Phase 2 enabling Works (land re-grade, road box crush to allow sewers to be installed) – 6 weeks from 03-10-22
- Road box from plot 39 "Y" junction to pump station to allow safe access – from 3 weeks from 14-11-22

- Roads & Sewers Phase 1

Please also see appended the Phase 1 Roads & Sewers Management Plan. This sets out the following:

- 1 gang (green line) working from the bottom of the site up, so that the approved outfalls can be established first and then be in

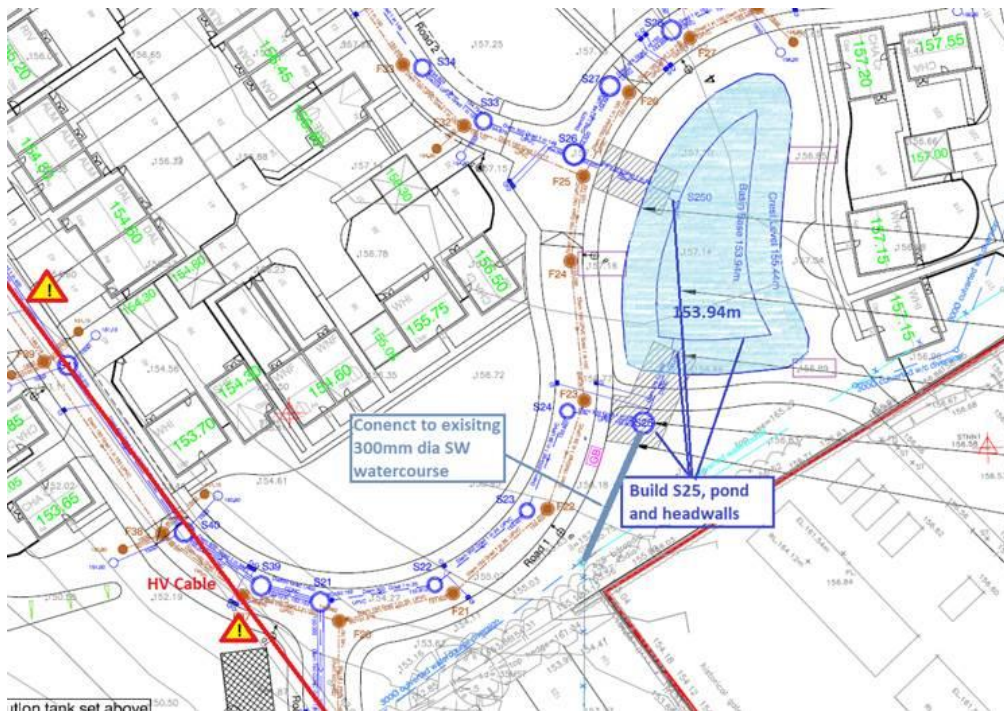
place to connect the subsequent system can outfall formally, and the served infrastructure is able to function fully from the outset. At the same time a gang (redline) will construct the higher SuDs pond and outfall, working back up to the entrance on the A6. As part of this programme the basins will be formed as the contractors work back up site. The first will be formed very early due to its position at the bottom of the site. Working backwards up the site, the gangs will also form the base course of the roads and lay the foul water infrastructure.

- Sewers from outfall back (plot 39) – 10 w from 5<sup>th</sup> December 2022
- Sewers (Phase 1 - Red Sewers) from plot 39 to site entrance Scotland Rd – 8w from 27<sup>th</sup> Feb (2 weeks for Christmas/ New year break)
- Highways to Phase 1 i.e. plot 39 “Y” junction to Scotland Road – 5 weeks from 24<sup>th</sup> April 2022
- Highways to Phase 2 i.e. plot 39 “Y” junction down to Pump Station outfall – 6 weeks from 29<sup>th</sup> May 2022

- Temporary Surface Water Mitigation Works

During the facilitating earth works and until the permanent roads and sewers works are in place, temporary drainage works will be put in place and maintained. These are as follows:

- Speed hump at entrance to site just off Scotland road both to reduce wagon speed, but also act as bund to deflect surface water entering the site from Scotland Road (the cause for previous on site flooding).
- Temporary connection from the northern attenuation pond to the 300mm diameter SW drain. This is to mitigate surface water collection on the localised low point and along the new road alignment.



- 'Standard construction' – Later Roads & Sewers Phases, Foundations & House building.
  - To be commenced no earlier than 20 weeks from a re-commencement of works on site.

During the 'standard' construction phases it is expected that there will be approximately:

- 6 HGVs a day for earth movement intermittently when required (this is not a consistent process throughout the development).
- 10 HGV a month in the first 8 weeks of construction associated with roads and sewers;
- 2 HGVs a week associated with stone deliveries;
- 2 HGV a week for Brick / Block deliveries
- 4 HGV every month for drainage deliveries
- 2 HGV delivery month for roof truss deliveries
- 4HGVs a week for concrete deliveries
- 16 HGV deliveries a week for plasterboard / joists / timber etc.
- C. 20 staff members at any one time working on site. This includes sub-contractors.

Each property will take approximately 4 months from commencement of foundations to completion. The last month of this will mostly be internal fit out works.

Comprehensive top soil stripping will be avoided. Where appropriate re-seeding will take place on localised areas following necessary early infrastructure works.

Until access is no longer possible the land / portions of the land will continue to be grazed by the current tenants.

## **5.0 Construction Operating Hours**

No construction work associated with the development shall take place anywhere on the site on any Sunday or Bank Holiday, nor on any other day except between the following times:

- Monday to Friday 08:00 - 18:00 hours
- Saturday 08:00 - 13:00 hours

Unless such work is:

- a) Associated with an emergency or
- b) Carried out with the prior written approval of the Local Planning Authority.

This also includes any vehicles arriving to the site before 08:00.

## **6.0 Dust control measures**

- Dust will be monitored at all times and in periods of dry weather work areas will be damped down if dust is being generated by on site activities. This will be carried out through the use of a mobile sprinkler system. During fine weather when dust is deemed to be a problem this will be used at least once a day and more frequently when deemed necessary.
- Construction works will be carried out in such a way to limit the emissions to the air of pollutants (dust & fine particles (PM10)), employing best practicable means. The site will be managed in accordance with the TMP to minimise the potential effects on air quality from construction.
- At necessary intervals, as frequently as required, the site entrance and highway will be swept and or washed.

## **7.0 Noise Control / Mitigation Measures**

All plant equipment is fitted with industry standard silencers and all care will be taken on site to ensure noise is controlled. This will be achieved by ensuring any equipment is turned off when not in use and there is no unnecessary revving of engines when in use.

If it is deemed necessary noise levels shall be monitored in accordance with guidance contained in (BS) 7455: Description and Measurement of Environmental Noise. This has been in place for the earth movement phase undertaken to date. Should, during any other phases of works, this be required again, this will be undertaken.

In the event that operations on site will create possible vibration, measurement and assessment of ground-borne vibration will be undertaken in accordance with the guidance contained in (BS) 7385: Evaluation and Measurement for Noise in Buildings and (BS) 5528 2: Code of Practice for noise and Vibration Control on Construction Sites and Open Sites.

The development site is located within a relative noise-sensitive area, being adjacent to existing residential development to the east

A wide range of noise sources will be present, some for short periods, during the works. Calculations of noise impact during the construction phase undertaken include:

- Earthmoving plant (Dozer)
- Hand tools (Circular saw)
- Air compressors
- Concrete mixer trucks
- Generator – diesel powered
- Piling plant and equipment – only a very limited number of properties are proposed to be piled, and these are located at the far side of the site to the existing properties.

Prior to any piling on site there will be Noise and Vibration monitors installed at 2 neighbouring residential dwellings to ensure that standards are being met.

Other sources will be present at intervals during the development, including excavation and screening plant, haulage vehicles, impact noise from trades work and materials handling, pumps, etc.

Best practice will be adopted to minimise the creation of un-necessary noise at all times. The Developer will undertake regular site inspections to ensure that the Contractor adopts best practice. The requirements to minimise noise will be included in site induction/'tool box talks' provided to all contractor's personnel working on site.

Although not exhaustive, the following best practice procedures will be followed:

- Plant and machinery shall be regularly maintained to control noise emissions, with particular emphasis on lubrication of bearings and the integrity of exhaust silencers.
- Vehicles requiring the use of audible reverse warnings will be fitted with low-nuisance types.
- The use of vehicle horns within the site will be restricted to emergency situations.
- So far as is practicable, noisy plant or equipment shall be situated remotely from noise sensitive receptors. Barriers (eg. site huts, acoustic enclosures, stockpiles) shall be employed where practicable to reduce noise.
- Machines in intermittent use shall be shut down where possible or otherwise throttled down to a minimum when not in use.
- Compressors should be fitted with properly lined and sealed acoustic covers, which shall be kept closed whenever in use.

- The use of pneumatic percussive tools will be avoided so far as possible, but if use is essential, will be fitted with mufflers or silencers of the type recommended by the manufacturer.
- Where practicable, equipment powered by mains electricity shall be used in preference to equipment powered by internal combustion engines or locally generated electricity.
- Noise when loading or unloading vehicles, dismantling scaffolding or handling materials shall be minimised by avoiding drops from height, use of resilient mats, etc.
- External telephone bells, tannoy and other un-necessary noise sources will not be used.
- The piling rigs will have muffler/shrouds covering the hydraulic hammer to reduce noise output to below EU requirements to make it more environmentally friendly to the local area.
- If any complaint is received, noise and vibration monitoring will be established at all relevant site boundaries during subsequent visits.
- No construction work audible outside the site boundary will be permitted outside the approved working hours. No construction work audible outside the site boundary will take place on Sundays or Bank Holidays. The only exceptions may be the use of electricity generating plant (if and when mains electricity connection is not available). In each case, equipment will be used and maintained in good order and such equipment will not be run at a noise level which would create or cause a nuisance.
- The Contractor's compounds and any fixed plant in these compounds (such as pumps, concrete silo mixers and generators) will be located as far away from residential receptors as is practical as shown on the Traffic Management Plan.

## **8.0 Wheel Washing Facilities / road sweeping**

Wheel washing will be carried to avoid excess soiling of adjacent adopted highways to the full satisfaction of the Local Highway Authority and the police.

Wheel washing will be carried out manually on site with mechanical sweeping of the roads if required. If road sweeping is undertaken that the waste material should be taken away to an approved waste facility to be disposed of.

A temporary Wheel Washing station will be moved. Always to be located between the current construction area and the adopted highway. Ideally this will be at the gates to the construction area, but in any event as close as possible to the construction area.

A wheel bath will be kept in place at a single location prior to the first occupations for use during the initial earth works moving exercise. All site traffic will be required to use this prior to exiting the site on to Scotland Road.

Through the development a road sweeper will be engaged between this and the Carleton Hill road site to ensure that roads can be swept on a daily basis if and when necessary.

## 9.0 Pollution Control and Excess Surface Water

All waste and potential pollutants will be stored in locations isolated from water courses and drains. Exposed ground will be minimised at any one time to avoid excessive silting of watercourses.

Full emergency procedures and equipment including spill kits are available on site in order to deal with any environmental incidents which may occur. Although these will be avoided in the first instance as the priority.

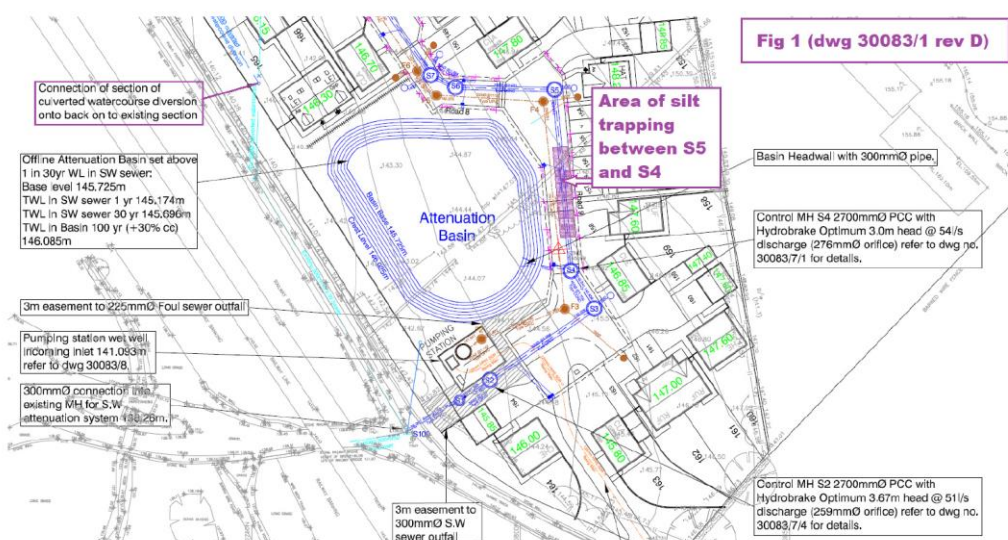
Measures will be put in place on site which will monitor and prevent the occurrence of pollution. Persimmon Homes recognise that it is an offence to pollute watercourses, purposefully or accidentally.

All fuel, old or chemical storage on site will be sited and secured on an impervious bund. Leaking or redundant containers will be removed immediately and appropriately.

The first phase of development will be the construction of the roads and sewers. This will involve the surface water connections to the already constructed SUDs pond. This pond is designed to hold the surface water drainage for the whole of the wider masterplan area. Should it be considered necessary during the construction phase due to excess surface water, a temporary overland flow route will be constructed to the basin.

### 9.1 Pollution Prevention and Settlement Facilities for removal of suspended solids from surface water run-off

In reference to image below an area of silt trapping between S5 and S4 has been identified to prevent solids and grits entering the surface water drainage system, in accordance with Part H of Building Regulations. Any potential pollutants and waste will be stored away from water courses and drains. Exposed ground will be minimised at any one time to avoid excess silting of watercourses.



Emergency procedures will be in place should any environmental incidents occur. Although priority will be taken to ensure these are avoided in the first instance. Measures will be put in place to ensure that pollution is monitored and prevented. It is recognised that the pollution of watercourses, accidentally or purposely is an offence.

All fuel or chemical storage on site will be sited and secured on an impervious bund. Leaking or redundant containers will be removed immediately and appropriately. In order to avoid silt pollution, wherever possible we will use methods of work to reduce or eliminate the chances of producing silt and silty water.

## **10.0 Temporary Site Illumination**

Any lighting required for the site will be limited to the construction operating hours, and will be directed onto the site, and not neighbouring properties.

## **11.0 Storage, Transport & Disposal of Material (inc. soil)**

All materials & plant stored on site will be kept in secure locations whilst the site is not in use. If necessary, security cameras will be installed.

Procedures are in place to load and unload plants and materials to ensure high levels of safety and to retain quality of materials used in construction. Contractors will be expected to maintain a tidy site and to operate, as far as is practical, a “just in time” policy for the delivery and supply of materials for the site, especially towards the end of the build when storage will be at a minimum. Materials will be stored to minimise damage by vehicles; vandals; weather and theft.

All HGV taking spoil to or from the site will be securely sheeted to prevent spillage or deposit of any material on the highway.

The disposal of waste generated during construction, including any surplus spoil will be managed to maximise the environmental and development benefits from the use of surplus material and to reduce any adverse effects of disposal. Where practical, re-use and recycling over disposal to landfill will be favoured. If necessary, to prevent rainwater accumulation or rubbish being blown away, waste storage facilities may be covered.

Soil will be stored in accordance with the Traffic management plan. Through to the phasing of the site construction access to the wider site will be minimised to avoid unnecessary soil damage. As far as practical, unnecessary movements off and on exposed soil will be avoided.

## **12.0 Storage Tanks**

If required to be stored on site, oil, fuels, chemicals will be stored in appropriately bunded tanks. In relation to Oil, any secondary containment system will be fully compliant with the Oil Storage Regulations.

Any tanks will be labelled with information on how to respond to a leak and containing materials such as oil or chemical absorbents and personal protective clothing will be kept on site at all times.

As a rule, containers will be used / located / stored according to the following requirements:

- Must be structurally sound and strong enough to prevent leakage under normal circumstances
- They must be sited within a 'secondary containment system', e.g. a bund
- Any sight glasses, valves, vent pipes etc, must be within the secondary containment system
- Fill points should be within the secondary containment system where possible. Where this is not possible a drip tray must be provided at the filling point
- Must ensure, where practicable, that containers are not situated within 50 metres of a borehole or 10 metres of any inland freshwater and coastal water that any leakage could enter
- Bunds must have a capacity of 110% of the tank / drum capacity or if more than one drum / tank are together in the same bund, then the greater of either:- 110% of the largest tank/drum's storage capacity, or 25% of their aggregate storage capacity
- Drip trays must have 25% capacity of the tank / drums capacity
- No container drainage system should penetrate the bund / drip tray
- Bunds and drip trays must be impermeable to water and oil and be sealed if pipes etc pass through its skin
- Bunds and drip trays must be positioned to minimise the risk of damage by impact with mobile plant or vehicles
- Any tap / pump or valve must be locked when not in use.

### **13.0 Site Waste Management & Waste Recycling**

A site waste management plan will be produced and implemented to comply with environmental legislation. Waste will occur in three principal phases:

- firstly, during demolition of existing structures and removal of any contaminated pockets of earth advised by the geotechnical consultant;
- secondly, during construction of the proposed houses; and
- finally, during occupation of the completed homes.

The adopted plan will involve the following provisions:

#### **Buying and Storing Materials**

- Order the amount of materials you need as accurately as possible;
- Arrange for 'just in time' deliveries to reduce storage and material losses;
- Consider the source of materials.
- Consider the packaging used for materials delivered to the site -can this be reduced or recycled.
- Ensure that deliveries are rejected if damaged or incomplete
- Make sure storage areas are safe, secure and weatherproof (where required)
- Store liquids away from drains, burns and in bunded areas to prevent pollution.

**Site Activities**

- Ensure options for the use of reclaimed and recycled construction materials, that meet the materials specification are considered.
- Recycle suitable spoil, demolition materials, prunings, and surplus construction material arising from the works on site to avoid the need to transport materials.
- Keep the site tidy to reduce material losses and waste.

**Training and awareness**

- Promote good practice awareness as part of health and safety induction / training for workers onsite.

**Waste Segregation**

- Segregate different types of waste as they are generated using different skips where possible (given the space available).

**Vermin Control**

- All of the above practices, particularly in regard to waste also serve to control potential vermin. We have not experienced issues with Vermin control on any other Persimmon sites presently operating across Lancashire or Cumbria. It is not expected to be an issue on this greenfield site as there is no pre-existing issue. All site managers are trained in Construction Management which includes awareness of practices to minimise risk of infestation. Should this occur, pest control experts will be requested to attend site as soon as possible.

**14 A written procedure for dealing with complaints regarding the construction or demolition**

There is currently, and will remain a 24hour contact number on the site entrance.

If there are any complaints with the construction works on the site, in the first instance please contact the Site Manager on site, giving details of the nature of the complaint. If seven days have passed and no change / improvement have been noted then please contact the Construction Director (Geoff Brown) at:

Persimmon Homes,  
Persimmon House,  
Lancaster Business Park,  
Caton Road,  
Lancaster,  
LA1 3RQ  
Tel: 01524 542000

If following a further 7 days, you have still not received a response or your complaint has not been dealt with, please contact the Managing Director (John Roocroft) at the address or number above.

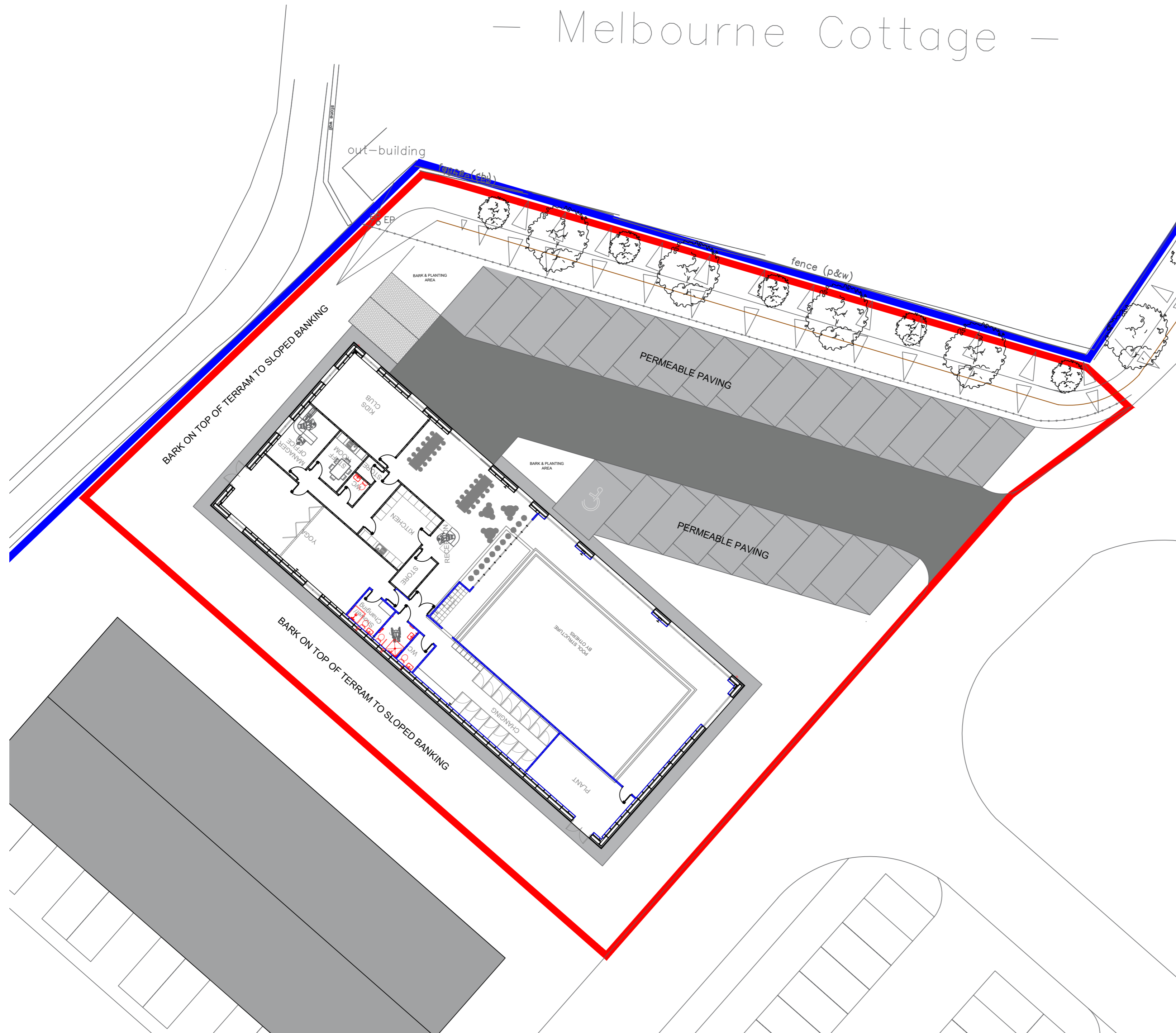
Prior to commencement of any procedures on site outside the standard practice (such as piled foundations) that may cause concern to local adjoining neighbours letters will be hand delivered to adjacent plots informing them of the forthcoming works, programme and direct contact details

If necessary, and at the request of local members / resident, local meetings will be held to provide periodic updates on the construction.

#### **14.0 Post Construction**

Following completion of the site the remaining areas of the site will be restored and landscaped according to the approved landscape plan.

# Melbourne Cottage



Revisions:  
A- 24.08.2022 - Drainage/External details  
B- 09.09.2022 - Amended Red Line



1 Brancana Court, East Lakes Business Park,  
Penrith, Cumbria, CA11 9BB  
Telephone: 01768 890244  
Web Address: www.atkinson-homes.co.uk

SITE:		
Plot C, Penrith		
POOL		
DRAWING:		
External Plan		
SCALE:	DATE:	DRAWN BY:
1:200 (A2)	09.09.2022	MH

ATKINSON HOMES

JOB NUMBER:	DRAWING NUMBER:	REV:
21072	C-01	B



**Land Off Greenbank Road, Eden Business Park,  
Penrith, Cumbria**

**Flood Risk Assessment and Foul & Surface  
Water Drainage Assessment & Proposal**

**Updated to Accommodate App 22/0602**

**8 September 2022**

## **CONTENTS:**

- 1 Introduction
- 2 Site Location, Topography & Proposals
- 3 Potential Sources of Flooding
- 4 Surface and Foul Water Disposal
- 5 Executive Summary

APPENDIX 1; Percolation Tests

APPENDIX 2; Exceedance Route Plan

APPENDIX 3; Attenuation Storage

APPENDIX 4; Drainage Maintenance

APPENDIX 5; Environment Agency Exemption

APPENDIX 6; Roof Water Drainage Design

APPENDIX 7; Surface Water Drainage Design

## **1 Introduction**

- 1.01 The flood risk assessment and foul and surface water drainage assessment has been commissioned for the development of a small business estate that is approximately 1.7 hectares in area that will include a selection of B1 (office) and D2 (assembly and leisure) use premises. Further future development on the site could include Class E – Commercial, Business and Service premises. This has been updated to accommodate planning application 22/0602, which proposes a smaller single story unit with a smaller roof space than previously approved app 20/0402. Therefore no changes are required as there is less impermeable area than previously approved.
- 1.02 The proposed new Pool premises will require Class E uses of E(d) Indoor Sport, E(g) Uses which can be carried out in a residential area without detriment to its amenity, premises. Given such, the flood risk assessment has been commissioned on the basis of the whole business estate masterplan being constructed and in line with government guidelines whereby a flood risk assessment is required for all sites greater than 1 hectare and within Flood Zone 1.
- 1.03 This site-specific Flood Risk Assessment (FRA) has been undertaken to determine the risk of flooding to the proposed development from all sources in accordance with the National Planning Policy Framework (NPPF) and to assess the flood risk to others as a result of the development.
- 1.04 In addition to the risk of flooding from rivers or sea, consideration must also be given to surface water flooding and flooding from artificial sources such as sewer failure or overtopping of reservoirs.

## 2 Site Location, Topography & Proposals

- 2.01 The site is centred on National Grid Reference (NGR); NY 50588 30921. The Land is accessed off Greenbank Road, Gilwilly Industrial Estate, Penrith, Cumbria. Please find Site Masterplan below. This Flood Risk Assessment & Surface Water Drainage Assessment covers the whole site, excluding land already developed (edged orange).



- 2.02 The site is bound by Thacka Lane and an existing dwelling house to the West; existing office / business premises and Thacka Nature Reserve to the South-East; further business premises (CaterPrep & Ast) to the South-West; and existing dwelling houses / farmsteads and agricultural land to the North. Recently approved (22/0398, 21/0356, 20/0242 and 21/0580) an Office Building and a Training Swimming Pool respectively will mark the start of this small business park.
- 2.03 The overall development site extends to approximately 1.7 hectares and principally comprises of low-quality agricultural land that was allocated as Employment Land Provision by Eden District Council in their Local Plan 2014-2032. The existing site is greenfield with no existing impermeable areas. The existing site levels fall in a North-Easterly direction with a maximum existing level of approx. 149m AOD at the North-Eastern boundary and a minimum level of approx. 138m AOD at the South Western boundary.
- 2.04 Separate foul and surface water drainage systems run along Greenbank Road, Gilwilly Industrial Estate. The sewers serve other business premises whom are situated along Greenbank Road. Please find United Utilities sewer record below.

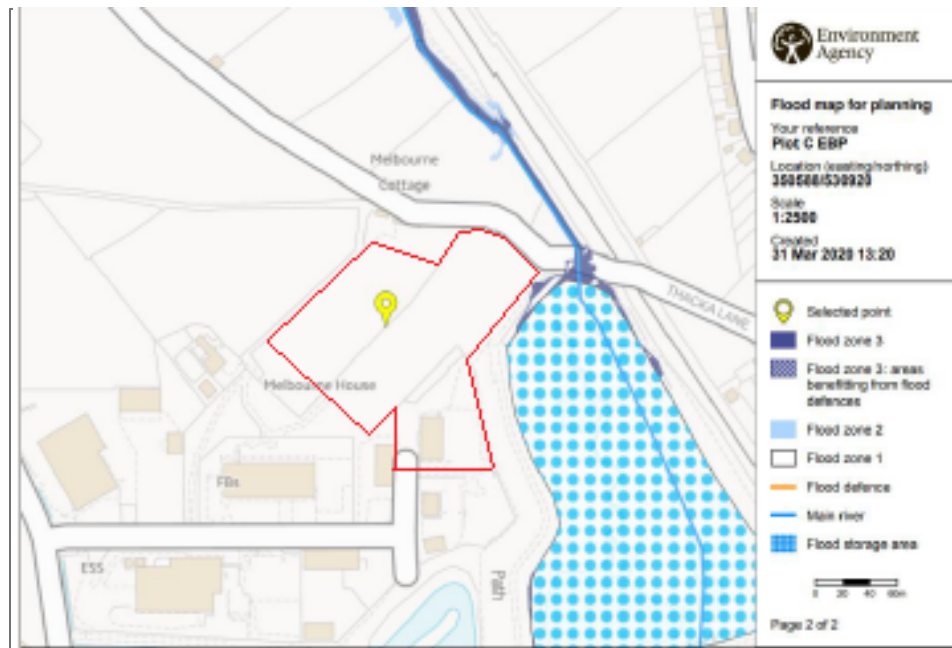
SEWER RECORD LAND AT: 350649, 530939 GILWILLY INDUSTRIAL ESTATE PENRITH



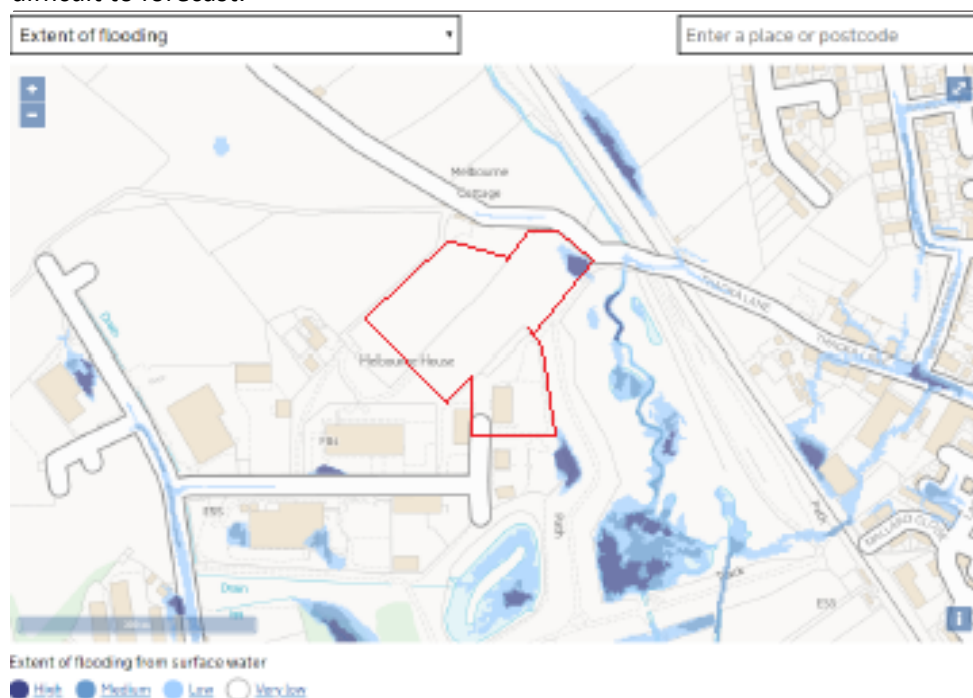
- 2.05 The development site has an existing surface water drain that crosses Thacka Lane, enters third party land and discharges into Thacka Beck located 40m to the North-East of the site boundary (shown as 2.05 on the drawing above). This surface water drain has a registered flood risk activity exemption with the Environment Agency for an outfall pipe of less than 300mm diameter through a headwall (FRA12, exemption reference: EXFRA006633) for grid reference location NY 50689 31028. [APPENDIX 5 Env Agency Exemption](#)
- 2.06 Infiltration testing has been carried out in accordance with BRE Digest 365 testing guidelines. Test results indicating that the ground has a low permeability classification. Ground infiltration / soakaways would not be suitable for this development site. [APPENDIX 1 PERCOLATION TESTS](#)
- 2.07 The Site proposal is for the erection of a new Class E Use premises with associated access roads, car parking facilities and infrastructure within the boundary of the development of the small business estate. The FRA includes the new Class E use premises as well as two approved buildings and the other different buildings that will eventually form a small business estate.

### 3 Potential Sources of Flooding

- 3.01 Environment Agency (EA) Flood Maps have been acquired to assist with the initial assessment. The EA Flood Map for Planning indicates that the development boundary is located entirely within Flood Zone 1. Land located within Flood Zone 1 is defined as having a less than a 1 in 1,000 annual probability of river or sea flooding.



- 3.02 The majority of the site has a flood risk from surface water as being **very low**. This classification of a very low risk means that each year this area has a chance of flooding from surface water of less than 0.1%. A small localised area towards the North-Eastern boundary (lowest point) of the site falls within the **high** flood risk category. High-risk identified areas mean that each year the chance of flooding may be greater than 3.3%. However, flooding from surface water is very difficult to predict as rainfall location and volume are extremely difficult to forecast.



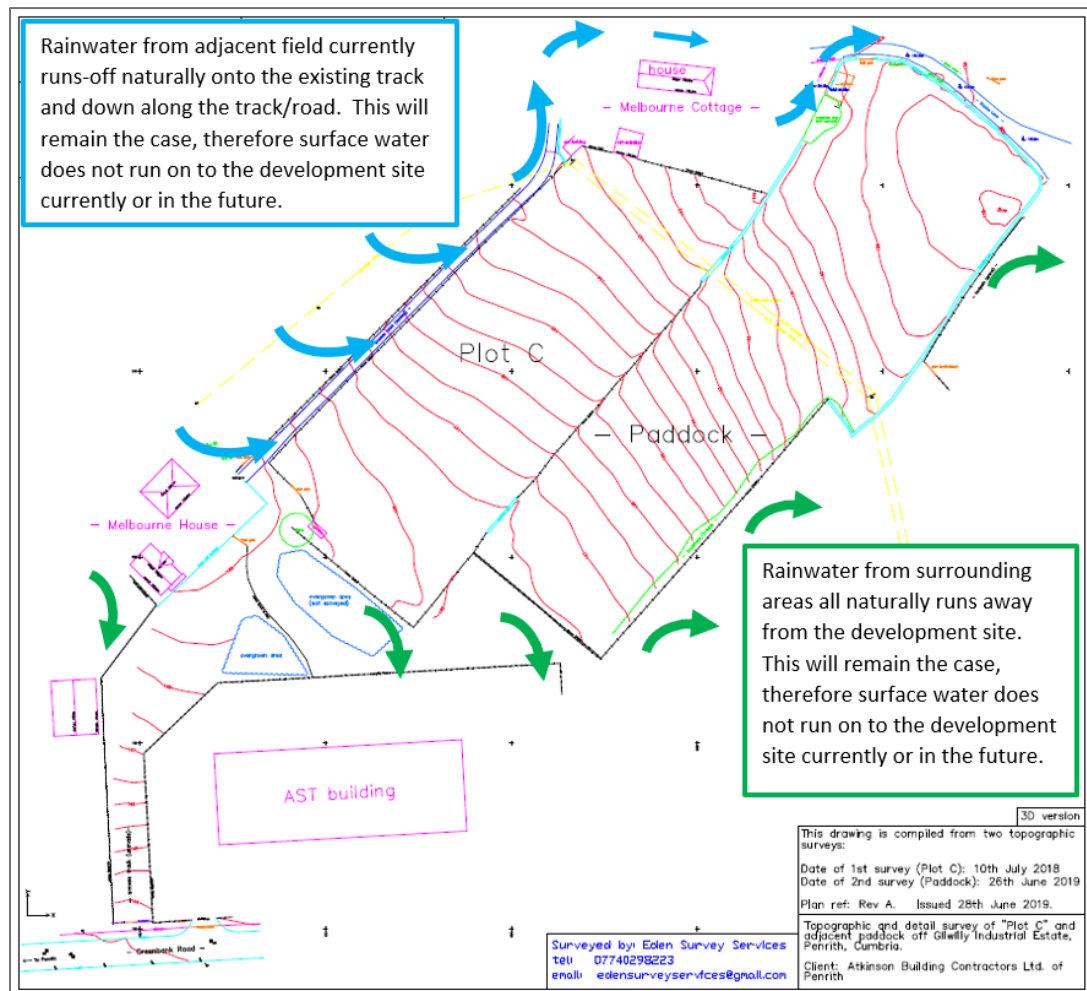
- 3.03 The flood risk from rivers or the sea is **very low**. This classification of a very low risk means that each year this area has a chance of flooding from rivers or seas of less than 0.1%.



- 3.04 The flood risk from reservoirs is **negligible**. Generally, flooding from reservoirs is unlikely. There has been no loss of life in the UK from reservoir flooding since 1925.



- 3.05 Given the sloping topography of the site, all drainage designs have given consideration to the protection of buildings. Flooding from surface water run-off can be deemed as **low risk** as long as appropriate mitigation is made within the development proposals to accommodate exceedance routes / overland flow paths etc. [APPENDIX 2 Exceedance Route Plan](#)
- 3.06 The existing public sewer network includes surface water and foul water sewers located approx. 50m South of the development site. The site is greenfield and served by an existing surface water sewer that discharges into Thacka Beck. The proximity and difference in levels of the site to both the existing public sewer network and the existing surface water sewer respectively are such that risk of flooding as a result of failure to existing public sewer network can be deemed as **low**.
- 3.07 Surface water run-off from adjacent sites does not impact the development site owing to the topography of the site. The diagram below shows how the existing surface water run-off/exceedance routes from surrounding sites does not affect the development site as existing and this remains the case once the development is developed.



- 3.08 All sources of potential flooding have been considered and are deemed as **low risk** or **negligible**, with the exception of a small localised area towards the North-Eastern boundary (lowest point) of the site. As long as appropriate mitigation measures are made within the overall business estate design proposal there will be low risk / negligible risk to flooding. In particular the small localized area identified as being high risk of surface water flooding by Environment Agency surface water mapping system will be designed accordingly as a designated area for car parking rather than the erection of a business premises.

#### **4 Surface Water & Foul Drainage Strategy**

- 4.01 The design of a surface water drainage system for the proposed development will be guided by the principles set out in the National Planning Policy Framework (NPPF) and the Building Regulations Approved Document H.

The NPPF provides the following advice with regards to drainage;

“Developers and local authorities should seek opportunities to reduce the overall level of flood risk in the area and beyond through the layout and form of the development, and the appropriate application of sustainable drainage systems. Sustainable drainage systems cover the whole range of sustainable approaches to surface drainage management. They are designed to control surface water run off close to where it falls and mimic natural drainage as closely as possible.”

The Building Regulations Approved Document H states that rainwater shall discharge to one of the following, listed in priority;

1. An adequate soakaway or some other adequate infiltration system, or where this is not reasonably practical;
2. A watercourse, or where this is not reasonably practical;
3. A sewer.

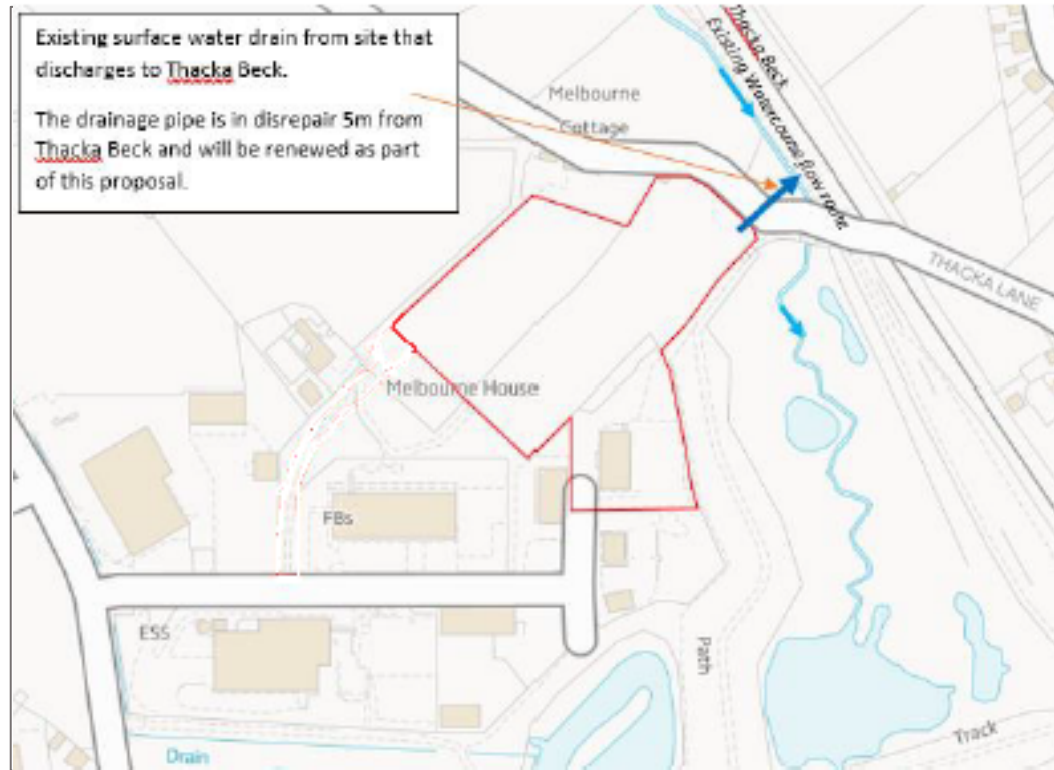
The National Planning Policy Frameworks (NPPF) states that sustainable drainage systems should be considered as high up the following, listed in priority;

1. Into the ground (infiltration);
2. To a surface water body;
3. To a surface water sewer, highway drain, or another drainage system;
4. To a combined sewer.

As infiltration is not viable on this site, both the Building Regulations Approved Document H and the NPPF dictate that the surface water should be directed to a watercourse/surface water body, and on this particular site, Thacka Beck.

- 4.02 Infiltration testing has been carried out in accordance with BRE Digest 365 testing guidelines. Test results indicated that the ground has a low permeability classification. Therefore, ground infiltration / soakaways would not be suitable for this development site. See [APPENDIX 1 Percolation Tests](#)

- 4.03 The nearest watercourse is Thacka Beck is approximately 40m from the development site located within third party land. The development site has an existing surface water drain that crosses Thacka Lane, enters third party land and discharges into Thacka Beck (diagram below). This surface water drain has a registered flood risk activity exemption with the Environment Agency for an outfall pipe of less than 300mm diameter through a headwall (FRA12, exemption reference: EXFRA006633). See [APPENDIX 5 Env Agency Exemption](#)



- 4.04 The existing surface water drain has a flow rate of 35 litres per second. This calculation is derived from a 225mm drain with a gradient of no less than 1/225 as defined by Building Regulations 2010, Approved Document Part H Drainage & Waste Disposal; H3 Rainwater Disposal.
- 4.05 Attenuation requirements have been calculated for the whole business estate development using the above detailed flow rate and recognised 'HR Wallingford Surface Water Storage Estimation Tool.' The attenuation has been designed to provide for a 100-year flood event plus a 40% allowance for climate change. The maximum required storage volume for the site based upon the site being fully impermeable is calculated to be 1,080m<sup>3</sup> (please see full calculations overleaf).

Calculated by:

Site name:

Site location:

## Site Details

Latitude:

Longitude:

Reference:

Date:

This is an estimation of the storage volume requirements that are needed to meet normal best practice criteria in line with Environment Agency guidance "Rainfall runoff management for developments", SC030219 (2013), the SuDS Manual C753 (Ciria, 2015) and the non-statutory standards for SuDS (Defra, 2015). It is not to be used for detailed design of drainage systems. It is recommended that hydraulic modelling software is used to calculate volume requirements and design details before finalising the design of the drainage scheme.

## Site characteristics

Total site area (ha):

Significant public open space (ha):

Area positively drained (ha):

Impermeable area (ha):

Percentage of drained area that is impermeable (%):

Impervious area drained via infiltration (ha):

Return period for infiltration system design (year):

Impervious area drained to rainwater harvesting (ha):

Return period for rainwater harvesting system (year):

Compliance factor for rainwater harvesting system (%):

Net site area for storage volume design (ha):

Net impermeable area for storage volume design (ha):

Pervious area contribution to runoff (%):

\* where rainwater harvesting or infiltration has been used for managing surface water runoff such that the effective impermeable area is less than 50% of the 'area positively drained', the 'net site area' and the estimates of  $Q_{BAR}$  and other flow rates will have been reduced accordingly.

## Design criteria

Climate change allowance factor:

Urban creep allowance factor:

Volume control approach:

Interception rainfall depth (mm):

Minimum flow rate (l/s):

## Methodology

esti:

$Q_{BAR}$  estimation method:

SPR estimation method:

## Soil characteristics

	Default	Edited
SOIL type:	4	4
SPR:	0.47	0.47

## Hydrological characteristics

	Default	Edited
Rainfall 100 yrs 6 hrs:	--	61
Rainfall 100 yrs 12 hrs:	--	70.08
FEH / FSR conversion factor:	0.96	0.96
SAAR (mm):	920	920
M5-60 Rainfall Depth (mm):	17	17
'r' Ratio M5-60/M5-2 day:	0.3	0.3
Hydrological region:	10	10
Growth curve factor 1 year:	0.87	0.87
Growth curve factor 10 year:	1.38	1.38
Growth curve factor 30 year:	1.7	1.7
Growth curve factor 100 years:	2.08	2.08
$Q_{BAR}$ for total site area (l/s):	11.3	11.3
$Q_{BAR}$ for net site area (l/s):	11.3	11.3

## Site discharge rates

	Default	Edited
1 in 1 year (l/s):	11.3	11.3
1 in 30 years (l/s):	19.2	19.2
1 in 100 year (l/s):	23.5	23.5

## Estimated storage volumes

	Default	Edited
Attenuation storage 1/100 years (m³):	839	839
Long term storage 1/100 years (m³):	242	242
Total storage 1/100 years (m³):	1080	1080

This report was produced using the storage estimation tool developed by HR Wallingford and available at [www.uksuds.com](http://www.uksuds.com). The use of this tool is subject to the UK SuDS terms and conditions and licence agreement, which can both be found at <http://uksuds.com/terms-and-conditions.htm>. The outputs from this tool have been used to estimate storage volume requirements. The use of these results is the responsibility of the users of this tool. No liability will be accepted by HR Wallingford, the Environment Agency, CEH, Hydrosolutions or any other organisation for the use of these data in the design or operational characteristics of any drainage scheme.

- 4.06 This required volume for the car parking areas will be stored within the storage void underneath the introduction of permeable pavements to all parking areas, holding back and slowing surface water flow as required. Storage calculations have been calculated by H R Wallingford and provides sufficient storage for 1 in 100 year storm event. In the event that a storm exceeds the calculated model, the car park area to the North East of the Site will act as flood storage area with the exceedance running overland to Thacka Beck. Treatment of surface water will be from the permeable pavements and aggregate storage underneath. The SuDS manual C753 classifying the pollution hazard as low to medium risk and indicative SuDS mitigation indices for discharging to surface water (Table 26.3) states that permeable pavement and aggregate storage is a sufficient mitigating factor.

Roof water will be stored within attenuation crates engineered to a maximum outflow rate of 4 l/s with Micro Drainage calculations provided by Polypipe. Treatment of roof water is not required.

Road surface water will be collected by road gullies and drained directly to swales. Swales will include gabion basket stone filled check dams every 20m to provide treatment and reduce velocity. The SuDS Manual C753 classifying the pollution hazard as low to medium risk and indicative SuDS mitigation indices for discharges to surface water (table 26.3) states that swales with the introduction of check dams as a filter is a sufficient mitigating factor.

**All are acceptable in terms of mitigation measures for treatment, as per the SuDS Manual C753.**

A Hydrobrake control valve with a design flow of 8 l/s will restrict the flow from site to 8 litres per second, which is less than the current 11.3 l/s greenfield runoff rate. [APPENDIX 3 Attenuation Storage](#)

- 4.07 It is envisaged that the road, surface water drains and SuDS features will remain private and thus a maintenance plan will be implemented to ensure that the drains and SuDS features are fully functional at all times. Maintenance of the permeable pavements will be minimal and will consist of periodic inspections (and cleaning if required) to ensure that it remain in good working order. Furthermore, inspections will take place following any periods of significant rainfall. [APPENDIX 4 Drainage Maintenance](#)
- 4.08 A United Utilities foul water drain has been identified on Greenbank Road that the development will discharge into. All foul sewers will be offered to United Utilities for adoption under a section 104 Agreement.

## 5 Executive Summary

- 5.01 All sources of potential flooding have been considered and are deemed as **low risk** or **negligible** as long as appropriate mitigation measures are made within the proposal.
- 5.02 A **suitable** surface water drainage strategy has been identified following the nationally recognized hierarchical principles. The surface water will pass forward with a restricted flow rate through an existing 225mm underground drainage pipe that has a maximum flow rate of 35 litres per second as defined by Building Regulations 2010 Approved Document Part H Drainage & Waste Disposal; H3 Rainwater Disposal discharging into Thacka Beck. Suitable and sufficient attenuation requirements will be incorporated on site in the form of permeable pavements (sustainable underground drainage system) to all parking areas, swales and attenuation crates that will hold back and control surface water flows as required.
- 5.03 A **suitable** foul water drainage strategy has been identified whereby the foul water will pass forward into a public foul water drain.
- 5.04 The flood risk assessment and surface water drainage plans have already been approved on previous applications (20/0242, 21/0290, 21/0356). This application 22/0602 proposes a smaller building footprint to approval 20/0402 therefore, surface water drainage will not be adversely affected.



## **CONSTRUCTION MANAGEMENT PLAN**

### **Incorporating Traffic & Construction Surface Water Management Plan**

**For development at Plot C, Greenbank Road, Penrith**



#### **Site Address**

Plot C, Land off Greenbank Road,  
Penrith, Cumbria, CA11 9FB

#### **Prepared by**

**Atkinson Building Contractors Ltd**

1 Brancana Court  
East Lakes Business Park  
Penrith CA11 9BB

8 September 2022

## **Introduction**

Development of a small business estate that is approximately 1.7 hectares in area that may include a selection of B1 (office), B2 (general industry), D2 (assembly and leisure) and Class E Use.

Site is allocated as Employment Land within the adopted Eden Local Plan 2014-2032, and its previous use has been agricultural grazing land.

## **Site Location Plan**



The site is centred on National Grid Reference (NGR); NY 50588 30921, and is accessed directly off Greenbank Road, Penrith, Cumbria.

Greenbank Road is accessed by entering Gilwilly Industrial Estate, then onto Cowper Road (entering Eden Business Park) before turning right onto Greenbank Road. The site entrance is at the end of Greenbank Road on the left hand side.

Phasing of Construction:

**Phase 1** – Form Site Access, Boundary and Compound

**Phase 2** – Form Roads, Drains and Bund

**Phase 3** – Construct Buildings

### **Phase 1 – Form Site Access, Boundary and Compound**

As work starts on site all Operatives, Subcontractors, Delivery Drivers and Visitors will be given a site induction which will include, but not be limited to, details of the following:

- Site Working Hours
- Parking Arrangements
- PPE Requirements
- Designated Pedestrian Routes around Site
- Delivery Times, Restrictions and Routes to Site
- Loading and Unloading Areas
- Provisions on site for Loading and Unloading

### **Traffic Management Plan**

All site traffic will access the site from the new site access location.

In the first instance this information will be communicated while placing orders with Suppliers/Merchants.

The attached Logistics Plan shows details of the arrangements on site, including the following:

- Site Entrance / Gate
- Parking Area
- Site Office, Accommodation & Welfare
- Delivery Drop-Off Area
- Materials Storage Area
- Plant Parking / Refuelling Area
- Waste / Recycling Area
- Wheel Wash Area at Entrance/Exit

**Please Note** – Designated pedestrian routes will be set up and maintained throughout the duration of the works to separate pedestrian from vehicular site traffic.



[illegible]

At commencement, the perimeter of the site will be established and securely protected with good quality heras security fencing to the whole of the perimeter, complete with all necessary signage in accordance with HSE requirements.

Construction Management Phase Plan Rev A (Dated 29/3/21) shows Phasing of the development.

4

Earth to be moved to achieve proposed levels

- Subsoil / Topsoil to be stored for later use on site
- Create Bund from Subsoil and top off with 18 inches of Topsoil
- Form Road Levels

- Attenuation Crates will be installed and ready for use
- Hydrobrake Flow Control Chamber/Valve to be installed
- Remedial works to be completed to the existing field drain to Thacka Beck

- Permeable Paving exceedance drainage to have outflow drainage pipes ready to connect to for when parking areas are completed at later date.
- Swales/check dams/channels to be formed

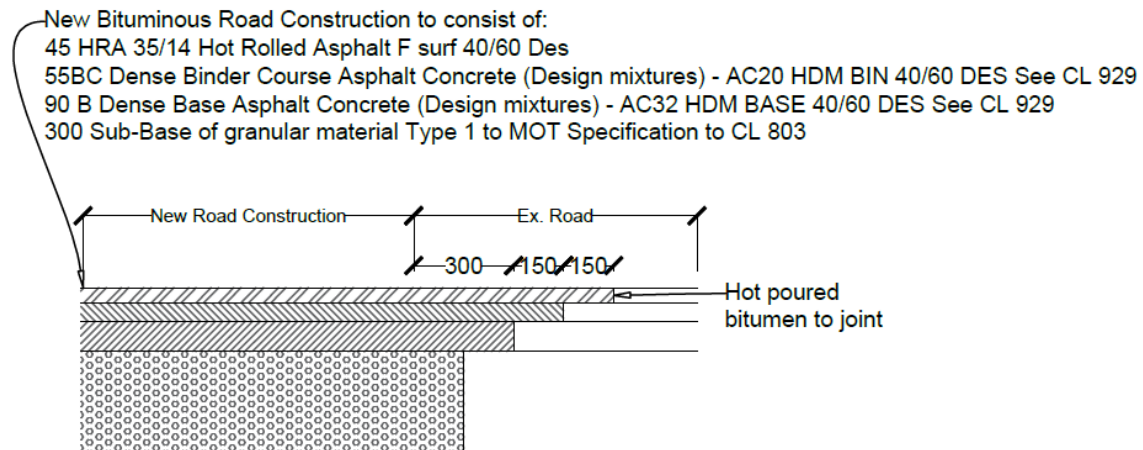
Road to be constructed with sub base

- All SW drainage pipework to be in place, inc. Gullys
- Kerbs installed to define roads and footpaths.
- Roads and footpaths to be constructed to sub base level
- Roads and footpaths to be completed to tarmac base coat level

### **Connection of New Access Road to the Existing Road**

**This has already been Completed.**

This is the detail on how the new access road will be connected to the existing road



### **New to Exg. Road Construction**

**The New Access Road is to remain as a Private Road and will not be offered for Highways Adoption.  
 Road will be constructed to Adoptable Standards**

### Phase 3 – Construct Buildings



### Construct Buildings

- SUBSTRUCTURE - Excavate and Complete Foundations to Sites 20/0242, 20/0402, 21/0356 and application Site
- SUPERSTRUCTURE – Build (Steel & Masonry) 20/0242, 20/0402, 21/0356 and application site
- Complete SuDS under Car Parking areas and commission

### **Environmental Impacts**

No construction work (other than in the case of an emergency or written approval from the Local Planning Authority) associated with the development shall take place anywhere on the site on any Sunday or Bank Holiday or on any other day except between the following times:

08:00 – 18:00 Monday to Friday

09:00 – 13:00 Saturday

During construction work (other than in the case of an emergency or written approval from the Local Planning Authority) no heavy commercial traffic, plant, machinery or earth moving equipment shall be allowed to enter the site on any Sunday or Bank Holiday or on any other day except between the following times:

08:00 – 18:00 Monday to Friday

09:00 – 13:00 Saturday

### **Dust Control Measures**

Dust levels will be monitored by the site manager. The Site manager will take account of weather conditions and prevailing wind direction when organising operations to prevent and minimise dust nuisance to neighbouring properties.

If dust causes a problem to nearby properties then measures can be implemented to control the dust. This would involve damping down surfaces by utilising water bowsers or sprinklers during period of dry weather, work areas will be damped down if dust is being generated by onsite activities.

The highway will be maintained to a standard of cleanliness we believe to be acceptable, if Eden District Council Environmental Health Offices want to make visits to the site to ensure the standard of cleanliness is acceptable on the road we will assist as required.

All site staff will be trained and be aware of the Dust Management Strategy.

All site staff will have appropriate PPE to protect them from the effects of dust.

All vehicles arriving to and departing the site containing loose material shall be sheeted over.

### **Noise and Vibration Control**

#### **Noise**

The properties most likely to be affected by noise emanating from the construction activities are Melbourne Cottages immediately to the North, Melbourne House to the West and the commercial properties on the access to and adjacent to the site.

All plant equipment is fitted with industry standard noise suppression attachments and all care will be taken on site to ensure noise is controlled. This will be achieved using any equipment is turned off when not in use and that there is no unnecessary revving of engines when in use. All construction plant and equipment should comply with EU noise emission limits.

The Environmental Management Controls that are to be adopted, will be in accordance with (BS) 5528 Code of practice for noise and vibration control on construction and open sites, during the works to reduce potential noise and vibration disturbance from site generated activities.

Any complaint received will be recorded and an immediate review will be undertaken. The outcome of the complaint, along with the description of the complaint will be entered into a folder that will be kept on site and can be viewed at any time.

## **Vibration**

Certain construction activities can produce a significant amount of ground-borne vibration, which has the potential to cause disturbance at nearby sensitive receptors. There is no accepted method for predicting the vibration at a sensitive receptor due to the ground-borne vibration from construction plant. However, it is possible to provide an estimate based on historical measurements provided within BS5228 and therefore provide some guidance on the likely levels that might be generated during the construction period.

BS5228 suggests that for the majority of people, vibration levels between 0.14 and 0.3 mms <sup>-1</sup> PPV are just perceptible. Table 1.0 details the distances at which certain activities give rise to a just perceptible level of vibration. These figures are based on historical field measurements to inform BS5228. The distances provided in Table 1.0 have been used to assess if vibration from construction activities would result in an effect on surrounding properties.

Table 1.0 Distances at which vibration may just be perceptible

Item No.	Typical Construction Activity	Distance from Activity (m)
1	Heavy vehicles (e.g. dump trucks)	5-10
2	Excavation	10-15
3	Hydraulic breaker	15-20
4	Driven piling	50-100

At this time it is anticipated that items 1 & 2 will be the only construction activities taking place on site. It has been determined that all sensitive receptors detailed in 10.1 are out with the distances detailed in table 1.0.

Although all works are outside the distances in table 1.0 the site manager will take extra measures when he deems it necessary, the below not exhaustive list outlines some of the mitigation measures:

- Working hours further restricted to office hours
- Maximum working period of 4 hours without 1-hour break
- Additional temporary acoustic screening
- Prior warning of the works to sensitive receptors

### **Wheel Washing Facilities**

Wheel washing will be carried out to avoid excessive soiling of adjacent highways to the full satisfaction of the Local Highway Authority or Police.

Wheel washing will be carried out manually when vehicles are tracking materials off the site onto the road to ensure the highway does not get soiled. In the event of the highway becoming soiled, mechanically sweeping of the roads will be undertaken.

The contractor will manage the risk of any road contamination by regular monitoring. Should the road become contaminated, any debris will be removed by road sweeper.

### **Prevention of Contamination**

Measures to avoid pollution, will include:

- Ensuring that all plant, fuel or chemicals will be kept on the Plant Parking & Refuelling Area, that will include an impervious base
- An emergency spill kit will be located in the Plant Parking & Refuelling and Waste/Recycling Areas in case of fuel/chemical spillage

### **Complaints Procedure**

All complaints will be reported and recorded. If a complaint is made in person on the construction site, the site manager will speak to the complainant and identify the problem. If the problem cannot be resolved immediately, the site manager will take the appropriate action and confirm satisfaction from the complainant.

If the problem is unable to be resolved immediately, the site manager will advise the complainant accordingly and advise them that they will provide feedback within a relevant time period depending on the nature of the problem. The site manager will be the nominated contact for keeping the complainant informed of progress and the final outcome.

### **Excavation and Ground Works**

Prior to commencing enabling and construction activities, the site area will be checked for overhead and underground services.

Service plans will be obtained from the utility providers and the site area checked for overhead services, marker posts and by a competent operative using a cable avoidance tool to locate underground services.

Once identified underground service routes will be identified and clearly marked. If markings are lost during the working operation the exercise will be repeated to ensure service routes remain clearly marked as required for the duration of the works.

All works in the vicinity of the underground services will be undertaken in accordance with the HSE Guidance Document, Avoiding danger from underground services.

All works in the vicinity of overhead services will be undertaken in accordance HSE Guidance Document “Avoiding danger from overhead power lines” Guidance Note GS6 (Fourth edition) and the Energy Networks Association “A Guide to the Safe Use of Mechanical Plant in the Vicinity of Electricity Overhead Lines”

Trenches with a depth exceeding 1m will be either battered back or suitably shored and the shoring maintained.

Trenches will be inspected regularly, and excess groundwater pumped out regularly during inclement weather.

Vehicle plant will be kept a safe working distance from the trench to prevent potential collapse.

No site staff will work below an excavator.

### **Recycling/Disposing of Waste Resulting Construction Work**

The following measures have been identified to minimise the quantity of waste produced during the project:

- An experienced site manager will be responsible for identifying and segregating waste on site.
- All waste resultant from the works will be segregated on site.
- Resultant hard core will be re-used where possible in the substructure.
- Re-usable materials will be identified on site and removed for storage and resale.
- Recyclable materials will be removed from the site for processing in licenced facilities.

## Surface Water Management Plan Before and After Implementation

### Before Implementation

Source of Pollutant	Type of Pollutant	Path to Receptor	Mitigation - Divert, Minimise and Prevent	Receptor
Agricultural land on higher Ground above development site	Silt	Silt mobilised by rainfall and overland surface flows	None	Thacka Lane Thacka Beck Neighbouring Agricultural Fields Soakaways serving the new development Thacka Beck Nature Reserve
New estate Roads	Silt & Hydrocarbons	Silt mobilised by rainfall and overland surface flows	None	Thacka Lane Thacka Beck Neighbouring Agricultural Fields Soakaways serving the new development Thacka Beck Nature Reserve
Excavations on site	Silt	Silt mobilised by rainfall and overland surface flows	None	Thacka Lane Thacka Beck Neighbouring Agricultural Fields Soakaways serving the new development Thacka Beck Nature Reserve
Wheel Washing	Silt	Uncontrolled run off from wheel wash area	None	Thacka Lane Thacka Beck Neighbouring Agricultural Fields Soakaways serving the new development Thacka Beck Nature Reserve
Surface Soil Stripping	Silt	Silt mobilised by rainfall and overland surface flows	None	Thacka Lane Thacka Beck Neighbouring Agricultural Fields Soakaways serving the new development Thacka Beck Nature Reserve
Materials Stockpiles	Silt	Silt mobilised by rainfall and overland surface flows	None	Thacka Lane Thacka Beck Neighbouring Agricultural Fields Soakaways serving the new development Thacka Beck Nature Reserve

Source of Pollutant	Type of Pollutant	Path to Receptor	Mitigation - Divert, Minimise and Prevent	Receptor
Dewatering Works	Silt	Uncontrolled pumping of silty water causing overland flows of silt laden water	None	Thacka Lane Thacka Beck Neighbouring Agricultural Fields Soakaways serving the new development Thacka Beck Nature Reserve
Mobile Generators	Hydrocarbons	Hydrocarbons mobilised by rainfall and overland surface flows	None	Thacka Lane Thacka Beck Neighbouring Agricultural Fields Soakaways serving the new development Thacka Beck Nature Reserve
Static Plant	Hydrocarbons & Hydraulic Oils	Hydrocarbons & Hydraulic Oil mobilised by rainfall and overland surface flows	None	Thacka Lane Thacka Beck Neighbouring Agricultural Fields Soakaways serving the new development Thacka Beck Nature Reserve
Building Materials	Paints/Solvents/ Cement/Admixtures/ Release Agents/ etc	Various chemicals	None	Thacka Lane Thacka Beck Neighbouring Agricultural Fields Soakaways serving the new development Thacka Beck Nature Reserve
Concrete Wash Out Area	Highly Alkaline Water	Water from washout area flowing uncontrolled across site	None	Thacka Lane Thacka Beck Neighbouring Agricultural Fields Soakaways serving the new development Thacka Beck Nature Reserve
Fuel Tanks/Cans	Hydrocarbons	Hydrocarbons mobilised by rainfall and overland surface flows	None	Thacka Lane Thacka Beck Neighbouring Agricultural Fields Soakaways serving the new development Thacka Beck Nature Reserve

## After Implementation

Source of Pollutant	Type of Pollutant	Path to Receptor	Mitigation - Divert, Minimise and Prevent	Receptor
Agricultural land on higher Ground above development site	Silt	Silt mobilised by rainfall and overland surface flows	<ul style="list-style-type: none"> <li>*Overland flows from the higher ground will be separated from travelling uncontrolled across the development site.</li> <li>*Silt laden flows will pass through silt netting prior to entering a cut off filter drain that is linked into the developments primary soakaway.</li> <li>*Exceedance flows accounted for by the bund that runs parallel to the A6</li> </ul>	Soakaways serving the new development - Clean water after passing through silt netting, filter drain, silt traps and treatment swale
New estate Roads	Silt & Hydrocarbons	Mud on the surfaced estate road mobilised as silt by rainfall and overland surface flows	<ul style="list-style-type: none"> <li>*Potential for the silt laden surface water to enter the new drainage system which discharges into the primary estate soakaway.</li> <li>*All gullies fitted with Hy-TEX Ultra Drain Guards that will remove any silt and hydrocarbons prior to the surface water entering the main drainage system</li> </ul>	Only clean water enters the soakaways serving the new development
Excavations on site	Silt	On site water filled excavations overtop with silt laden water, mobilised by rainfall and overland surface flows travel across site towards receptors	<ul style="list-style-type: none"> <li>*Programme allowing dig on fine days</li> <li>*Backfill excavations as soon as possible</li> <li>*Filter drains at site perimeters</li> <li>*Silt netting at site perimeters</li> <li>*Retained vegetation strip at site perimeters</li> <li>*Bund running parallel with A6</li> <li>*Mitigation provided by the swales</li> </ul>	Only clean water reaches the soakaways serving the new development
Wheel Washing	Silt	Uncontrolled run off from wheel wash area	<ul style="list-style-type: none"> <li>*Bunded wheel wash area, with recycling of the silt laden water into clean water and solids.</li> </ul>	All water retained in wheel wash area
Surface Soil Stripping	Silt	Silt mobilised by rainfall and overland surface flows	<ul style="list-style-type: none"> <li>*Strip vegetation and topsoil in phases</li> <li>*Filter drains at site perimeters</li> <li>*Silt netting at site perimeters</li> <li>*Retained vegetation strip at site perimeters</li> <li>*Bund running parallel with A6</li> <li>*Mitigation provided by the swales</li> </ul>	Only clean water reaches the soakaways serving the new development
Materials Stockpiles	Silt	Silt mobilised by rainfall and overland surface flows	<ul style="list-style-type: none"> <li>*Ensure all stockpiles are battered at 45° and sealed</li> <li>*Sheet stockpiles where deemed necessary</li> </ul>	Only clean water reaches the soakaways serving the new development
Dewatering Works	Silt	Uncontrolled pumping of silty water causing overland flows of silt laden water	<ul style="list-style-type: none"> <li>*When dewatering pump will be switched off before removing the last portion of water and suspended solids will be allowed to settle before discharging</li> <li>*Pump water direct into site perimeter filter drains</li> <li>*where applicable use dewatering sediment bags</li> </ul>	Only clean water reaches the soakaways serving the new development

Source of Pollutant	Type of Pollutant	Path to Receptor	Mitigation - Divert, Minimise and Prevent	Receptor
Mobile Generators	Hydrocarbons	Hydrocarbons mobilised by rainfall and overland surface flows	<ul style="list-style-type: none"> <li>*All plant subjected to regular maintenance</li> <li>* All mobile generators must be sited on plant nappy of appropriate size</li> <li>* Refuelling must only take place in the designated refuelling area</li> <li>*Spill kits strategically sited throughout site.</li> <li>* Use battery generator as alternative to petrol driven</li> </ul>	Contaminants path to receptor broken
Mobile Plant	Hydrocarbons & Hydraulic Oils	Hydrocarbons & Hydraulic Oil mobilised by rainfall and overland surface flows	<ul style="list-style-type: none"> <li>*All plant subjected to regular maintenance</li> <li>* Refuelling must only take place in the designated refuelling area</li> <li>*Spill kits strategically sited throughout site.</li> <li>*Consider using biodegradable hydraulic oils in machinery</li> <li>* Use battery driven plant as alternative to petrol driven</li> </ul>	Contaminants path to receptor broken
Static Plant	Hydrocarbons & Hydraulic Oils	Hydrocarbons & Hydraulic Oil mobilised by rainfall and overland surface flows	<ul style="list-style-type: none"> <li>*All plant subjected to regular maintenance</li> <li>* Refuelling must only take place in the designated refuelling area</li> <li>*Spill kits strategically sited throughout site.</li> <li>* Use battery driven plant as alternative to petrol driven</li> </ul>	Contaminants path to receptor broken
Building Materials	Paints/Solvents/ Cement/Admixtures/ Release Agents/ etc	Various chemicals	<ul style="list-style-type: none"> <li>*Store all building chemicals inside weather proof storage containers</li> <li>*Dispose of empty containers that may have residual amounts of chemicals in a responsible manor.</li> </ul>	Contaminants path to receptor broken
Concrete Wash Out Area	Highly Alkaline Water	Water from washout area flowing uncontrolled across site	<ul style="list-style-type: none"> <li>*Self contained concrete washout area</li> <li>*Solids and liquids separated</li> <li>*Solids once settled are inert and can be reused on site or disposed of via the licenced waste carrier.</li> <li>*Liquids either treated to reduce the pH levels and discharged into the site drainage system or returned to the concrete provider.</li> </ul>	Contaminants path to receptor broken
Fuel Tanks/Cans	Hydrocarbons	Hydrocarbons mobilised by rainfall and overland surface flows	<ul style="list-style-type: none"> <li>*Double banded fuel tanks used</li> <li>*Use drip trays, pouring spouts and funnels when refuelling plant where necessary</li> <li>*Store fuel cans in secure location</li> <li>*Use appropriate containers</li> </ul>	Contaminants path to receptor broken

Appendix A - Atkinson Building Contractors - Weekly Site Health, Safety & Environment Inspection Form

## Weekly Site Health, Safety & Environment Inspection



- Site Management (Job Runner) to complete and return to office weekly. Refer to Guidance Notes.
- Site Management (Job Runner) to ensure any unsatisfactory items or items requiring immediate action are addressed and rectified.
- Contract/Project Manager to assess and follow up to ensure issues are rectified

Job Title:		Location:	
Completed by: PRINT Name		Signature:	
Date Inspected:		Time inspected:	

**Key for Completion:**  
 N/A – Not Applicable  
 ✓ - Satisfactory  
 X - Unsatisfactory  
 I - Immediate Action

Ref	Item inspected	N/A ✓ / X / I	Comments and Action Required if less than satisfactory	Rectified Initials
<b>Site Documentation</b>				
1	Construction H&S Phase Plan.			
2	PDG Construction Phase Site File B or C			
3	Method Statements			
4	Risk Assessments			
5	Tool Box Talks			
6	Signing in and Fire Register			
7	Site Inductions			
8	Permits (Dig, Hot Works etc)			
9	F10 Form, HASAWA Notice			
<b>Occupational Health</b>				
10	COSHH and Hazardous Substances			
11	Manual Handling			
12	Staff Facilities, Drinking Water			
13	Washing & Toilets			
14	First Aid			
15	Accident reporting (ABP-025)			
16	Smoking			
<b>Environmental Issues</b>				
17	Pollution Prevention, Control of environmental hazards			
18	Waste Management			
19	Asbestos, hazardous and special waste			
20	Environmental Incident Management			
<b>General Site Activities</b>				
21	Supervision of Work			
22	Appropriate Signs & Notices			
23	Site Access & Egress			
24	Open Edges			
25	Site Security & Perimeter Fencing			
26	Pedestrian Routes & Roadways			
27	Tidiness of Site			
28	Telephones			
29	Site and Task Lighting			
30	Public Safety			
31	Traffic Management			
32	PPE			
33	Buried Services			
34	Flammable Liquids, LPG, Other Gases (Storage)			
35	Working At Height			
36	Excavations			
37	Scaffolding			
38	Ladders			
39	Pulleys / Sheaves			
40	Material Storage			
41	Electricity			
42	Temporary Electrical Supplies <i>inc. Site Cabins.</i>			
43	Confined Spaces			
44	Fire			
45	Lifting Equipment			
46	Tools, Sml Plant/Generators/Power			
47	Sub-Contractors			

Ref	Item Checked	Guidance
1	Construction Phase H&S Plan	Copy inclusive all relevant documents on site, signed off and adhered to
2	Method Statements	Copies on site for works being undertaken, signed off, briefed to supervisors, all staff and signed; Staff working to method Statements. Subcontractors working to own or ABC's (less than 5 staff in company)
3	Risk Assessments	Risk assessments site specific, in date, cover all significant hazards, briefed, adhered to
4	Tool Box talks	Tool Box Talks delivered as appropriate
5	Signing in and Fire Register	All staff, subcontractors and visitors signing in and out
6	Site inductions	All staff, subcontractors and visitors inducted to site (include any site specifics)
7	Permits (Dig, Hot Works etc)	Permits for the works available, current, cover the works, signed off
8	F10 Form, HASAWA Notice	Required, on notice board, accurate info, in date, does it cover scope of works
9	COSHH and Hazardous Substances	Review all products, PPE, storage, briefed
10	Manual Handling	Trained, use of mechanical equipment, assess task/individual/load/environment, is it safe, alternatives?
11	Staff Facilities, Drinking Water	Is welfare facility (cabin) clean & tidy (rota), seating, tables water heating/boiling facility working, food warming facility working, available, waste bins emptied; Heating, Lighting, fire equipment, washing-up facility; Access; Security.
12	Washing & Toilets	Hand cleaner, barrier cream and toilet paper available. Waste disposal. Clean and tidy (rota); Access; shared arrangements.
13	First Aid	First aid points, fully stocked first aid kits, certified first aiders, notice of first aiders on display, eye wash, first aid equipment in date, hospital route displayed, emergency contact numbers available
14	Accident Reporting (ABP-025)	Any accident on site has been reported, accident report (ABF-079) completed and forwarded to the Office.
15	Smoking	No smoking signs, designated smoking area, Suitable bins, cigarettes disposed of correctly, allocated break times only, including E cigarettes
16	Pollution Prevention, Control of environmental hazards	Surface Water Management Plan Weekly Inspection, Preventative measures, waterways, drains, land protected, suppressors used stockpiles sheeted, dust control, road sweepers, idle equipment turned off, re-fuelling controls/area, banded fuel hazardous materials controlled
17	Waste Management	Recycling area set up/labelled, segregated, registered waste carriers, pre-notification to the Environment Agency; staff, subcontractors recycling.
18	Asbestos, hazardous and special waste	Clearly marked, labelled, work restricted, specialist contractor employed, reports
19	Environmental Incident Management	Spill Kits, emergency plan, contact numbers, hazards identified, emergency equipment available
20	Supervision of Work	Staff, subcontractors – all methods of works being undertaken safely and where applicable in accordance with method statements, risk assessments and according to quality requirements and labour targets.
21	Appropriate Signs & Notices	Hazards identified, information, position, safety, legal, security DNA signs
22	Site Access & Egress	Underfoot conditions, clear walkways, authorised access points, lighting, secure
23	Open Edges	Fenced off, safe
24	Site Security & Perimeter Fencing	Secure, locked, checked daily, in good order
25	Pedestrian Routes & Roadways	Separate to vehicle access points/routes, Segregation wherever possible, One-way systems, banksman supervising reverse movements, barriers, clear from hazards
26	Tidiness of Site	Storage areas for materials & plant, General housekeeping, all staff & subcontractors maintaining site tidy, end of day tidy up
27	Telephones	Use of mobile phones kept to a minimum, used at break times only. Other than exceptional circumstance, use of phones must be for work purposes only. Phones and earphones must not be used whilst driving, operating plant, machinery, using tools or doing anything where safety is important and may interfere with concentration or listening to instructions.
28	Site and Task Lighting	Adequate for time of year/job, serviced, in test, positioned correctly
29	Public Safety	Warning signs, restriction of access, barriers and fencing, security, footpaths checked, review works being undertaken
30	Traffic Management	Plan in place, speed limits, signage, banking of vehicles (inc deliveries)
31	PPE	All staff & subcontractors wearing correct PPE, task specific, in date, clean, minimum hi-viz vest, hard hat, safety boots, gloves. Refer to risk assessment for further required PPE
32	Buried Services	Service drawings, CAT Scan, competency, supervision, trial holes, found service marked up, staff and subcontractors aware
33	Flammable Liquids, LPG, Other Gases (Storage)	Designated storage area, secure, signage, fire equipment, no smoking, locked, quantity kept to minimum. No LPG heaters in use. (space heaters etc.)
34	Working At Height	Risk assess continually, scaffold, hand/guard rails, safe/checked, brick guards, tool box talks, MEWPS. Safe system set up for handling, moving and storing materials, tools and equipment. Manual / mechanical pulleys or gin wheels set up, loadall lifts planned, controlled – appropriate to weight, type.
35	Excavations	Barriers, fencing, trench boxes, benching, sheet piles, monitoring, permits, signage
36	Scaffolding	Erected by competent person, checks completed/valid, toe boards, hand rails, intermittent rails, hoists, PPE, checked after adverse weather
37	Ladders	Safe system for use - three point contact, angle of ladder, tied for security, footed. Pre-use visual checks and Inspected, safe, no damage or deterioration.
38	Pulleys/Sheaves	Used in accordance with manufacturers Operating and Maintenance Instructions and using safe systems of work. Must have a visual safety inspection to ensure efficiency and no damage, deterioration or wear which will affect safety.
39	Material Storage	Safe, secure, dry, protected, height, separated, identified, access, stored in accordance to the requirement of the material (Storage requirements on packaging). Locked, Security
40	Electricity	Check Drawings and user cable avoiding equipment. Excavators or power tools not used near suspected buried services
41	Temporary Electrical Supplies inc. Site Cabins	Inspection cert for installation, routing of cables, earthed, 110V, readings taken weekly. Site cabin - check sockets, lights, cables and appliances for damage etc.
42	Confined Spaces	Permits available and signed off, isolation of services, PPE, tools and equipment, training, safety, first aid, method statements, supervision
43	Fire	Prevention-fire plan updated, exits clear, signed, risk assessment, extinguishers in date, correct for task, stored off the ground, fire assembly point, alarm
44	Lifting Equipment	SWL visible, tested, certs, condition, slingers competency, attachment point, lift plan, permits, identified, training, LOLER reqs, PPE, harness,
45	Tools, Small Plant/Generators/Power	P.A.T, serviced and in date, suitable for task, visual check before use, condition, restriction of use-quarantine, user competence, weekly checks, storage and security
46	Sub-Contractors	Register completed, signed in, working to site rules, method statements & risk assessments available on site.

Appendix B - Surface Water Management Plan Weekly Inspection Form

# Surface Water Management Plan Weekly Inspection

Job Title:	White Ox Farm	Location:	Land at White Ox Farm, Inglewood Road, Penrith
Completed by: PRINT Name		Signature:	
Date Inspected:		Time Inspected:	



Gully No.	Installation Date	Drain Guard Maintenance Checks			Remedial Actions	Signature for remedial actions	Estimated replacement date
		Is the drain guard in good order as per the installation guidelines? Yes = No further action No = Remedial Action N/A – Not Applicable	Is the amount of sediment collected in the drain guard less than 150mm? Yes = No need to replace No = Replace N/A – Not Applicable	Is the gully free from any oil visible floating on the water surface? Yes = No need to replace No = Replace N/A – Not Applicable			
A1							
A2							
A3							
A4							
A5							
A6							
A7							
A8							
A9							
A10							
A11							
A12							
A13							
A14							
A15							
B1							
B2							
C1							
C2							
C3							
C4							
D1							
D2							
D3							
D4							
D5							
D6							
D7							
D8							
D9							

Section Of Fence	Installation Date	Silt Fencing Maintenance Checks			Remedial Actions Undertaken	Signature for remedial actions	
		Is the fence in good order as per the installation guidelines? Yes = No further action No = Remedial Action	Is the level of the silt below the maximum silt accumulation marker on the fence? Yes = No further action No = Remedial Action	Are all silt laden flows retained on the site? Yes = No further action No = Remedial action			
SF1							
SF2							
SF3							
SF4							
SF5							